

Arlington Conservation Commission

Date: Thursday, October 6, 2022
Time: 7:00 AM
Location: Conducted by Remote Participation

Pursuant to State Legislation suspending certain provisions of the Open Meeting Law, G. L. c. 30A, § 20 relating to the COVID-19 emergency, the September 1, 2022, public meeting of the Arlington Conservation Commission shall be physically closed to the public to avoid group congregation. The meeting shall instead be held virtually using Zoom. Please register in advance for this meeting. Reference materials, instructions, and access information for this specific meeting will be available 48 hours prior to the meeting on the Commission's agenda and minutes page.

Agenda

1. Administrative
 - a. Approval of September 15, 2022, meeting minutes
2. Updates
 - a. Park & Recreation Commission Liaison
 - b. Water Bodies Working Group
 - c. Tree Committee Liaison
3. Discussion
 - a. Preliminary CPA Applications
 - b. Endorsement of Gas Leaks Task Force Resolution to the Select Board
 - c. Materials for the Residences at Mill Brook (1021 Mass. Ave.) 40B Comprehensive Permit Submission can be found on the Town of Arlington Zoning Board of Appeals page.
 - d. Request for Certificate of Compliance: 44 Hopkins Road
Documents: 44 Hopkins Road Certificate of Compliance Package

This discussion will consider a Request for Certificate of Compliance for work at 44 Hopkins Road. Completed work within the Buffer Zone to Spy Pond includes removal of existing asphalt surface of parking lot and replacement with crushed stone.
 - e. 16 Forest Street Notice of Violation
 - f. 17 Mill Street Enforcement Order Ratification
 - g. 88 Coolidge Road Enforcement Order Ratification
4. Hearings

Notice of Intent: Drake Village Creative Placemaking

Notice of Intent: Drake Village Creative Placemaking
Documents: Drake Village Creative Placemaking NOI Package

This public hearing will consider a Notice of Intent for work proposed to be conducted within the Riverfront Area, Buffer Zone, and Adjacent Upland Resource Area to Mill Brook. Improvements to the Drake Village Complex at 16-38 Drake Road include landscaping, repaving, and installation of amenities.

Notice of Intent: Spy Pond Aquatic Invasive Management (Continued)

Notice of Intent: Spy Pond Aquatic Invasive Management (Continued)

This public hearing will consider a Notice of Intent for aquatic invasive management in Spy Pond. Work is proposed to be conducted within Land Under Water. The management will include chemical and mechanical treatment of invasive plant species.

Town of Arlington, Massachusetts

Endorsement of Gas Leaks Task Force Resolution to the Select Board

Summary:

Endorsement of Gas Leaks Task Force Resolution to the Select Board

ATTACHMENTS:

	Type	File Name	Description
▢	Reference Material	Gas_Leaks_Task_Force_Resolution.docx	Gas Leaks Task Force Resolution



Town of Arlington, Massachusetts

Request for Certificate of Compliance: 44 Hopkins Road

Summary:

Request for Certificate of Compliance: 44 Hopkins Road

Documents: 44 Hopkins Road Certificate of Compliance Package

This discussion will consider a Request for Certificate of Compliance for work at 44 Hopkins Road. Completed work within the Buffer Zone to Spy Pond includes removal of existing asphalt surface of parking lot and replacement with crushed stone.

ATTACHMENTS:

Type	File Name	Description
▢ Reference Material	44_Hopkins_Road_Certificate_of_Compliance_Package.pdf	44 Hopkins Road Certificate of Compliance Package



TOWN OF ARLINGTON
MASSACHUSETTS
CONSERVATION COMMISSION

CERTIFICATE OF COMPLIANCE CHECKLIST

Project Street Address: 44 Hopkins Road

DEP File No: 91-259

Applicant: Cordyn T. Brown

Site Visit Date: 09.09.22

<input type="checkbox"/> All materials submitted and compliant with Order of Conditions		
As-built Plan	<input type="checkbox"/> Submitted <input type="checkbox"/> Stamped <input type="checkbox"/> Dated	
Special Conditions	<input checked="" type="checkbox"/> Additional materials required (Condition # <u>35, 36</u>) <input type="checkbox"/> Additional materials submitted	
	Condition # <u>35</u>	<input checked="" type="checkbox"/> Compliant <input type="checkbox"/> Non-compliant
	Condition # <u>36</u>	<input checked="" type="checkbox"/> Compliant <input type="checkbox"/> Non-compliant
	Condition # _____	<input type="checkbox"/> Compliant <input type="checkbox"/> Non-compliant
Project Narrative	<input type="checkbox"/> Notes changes	
Describe changes		
Site Visit	<input checked="" type="checkbox"/> Site conditions acceptable <input type="checkbox"/> Site conditions unacceptable	
Recommendation	<input checked="" type="checkbox"/> Issue Certificate of Compliance <input type="checkbox"/> Do not issue Certificate of Compliance	



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands
WPA Form 8A – Request for Certificate of Compliance
Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

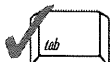
DEP File Number:

91-259
Provided by DEP

A. Project Information

Important:

When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



Upon completion of the work authorized in an Order of Conditions, the property owner must request a Certificate of Compliance from the issuing authority stating that the work or portion of the work has been satisfactorily completed.

1. This request is being made by:

Carolyn and Andrew Tiffany

Name

44 Hopkins Rd

Mailing Address

Arlington

City/Town

Ma

State

02476

Zip Code

781-859-9043

Phone Number

2. This request is in reference to work regulated by a final Order of Conditions issued to:

Carolyn and Andrew Tiffany

Applicant

6/19/15

Dated

91-259

DEP File Number

3. The project site is located at:

44 Hopkins Rd

Street Address

Arlington

City/Town

121

Assessors Map/Plat Number

3-11

Parcel/Lot Number

4. The final Order of Conditions was recorded at the Registry of Deeds for:

Carolyn and Andrew Tiffany

Property Owner (if different)

Middlesex

County

80653

Book

200

Page

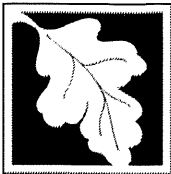
Certificate (if registered land)

5. This request is for certification that (check one):

☒ the work regulated by the above-referenced Order of Conditions has been satisfactorily completed.

☐ the following portions of the work regulated by the above-referenced Order of Conditions have been satisfactorily completed (use additional paper if necessary).

☐ the above-referenced Order of Conditions has lapsed and is therefore no longer valid, and the work regulated by it was never started.



Massachusetts Department of Environmental Protection

Bureau of Resource Protection - Wetlands

WPA Form 8A – Request for Certificate of Compliance

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

DEP File Number:

91-259

Provided by DEP

A. Project Information (cont.)

6. Did the Order of Conditions for this project, or the portion of the project subject to this request, contain an approval of any plans stamped by a registered professional engineer, architect, landscape architect, or land surveyor?

☐ Yes

If yes, attach a written statement by such a professional certifying substantial compliance with the plans and describing what deviation, if any, exists from the plans approved in the Order.

X No

B. Submittal Requirements

Requests for Certificates of Compliance should be directed to the issuing authority that issued the final Order of Conditions (OOC). If the project received an OOC from the Conservation Commission, submit this request to that Commission. If the project was issued a Superseding Order of Conditions or was the subject of an Adjudicatory Hearing Final Decision, submit this request to the appropriate DEP Regional Office (see <http://www.mass.gov/eea/agencies/massdep/about/contacts/find-the-massdep-regional-office-for-your-city-or-town.html>).



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands
WPA Form 8A – Request for Certificate of Compliance
Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

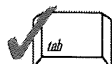
DEP File Number:

91-259
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A. Project Information

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Applicant

6/19/15

Dated

91-259

DEP File Number

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Street Address

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Assessors Map/Plat Number

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City/Town

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Parcel/Lot Number

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Carolyn and Andrew Tiffany

Property Owner (if different)

Middlesex

County

80653

Book

200

Page

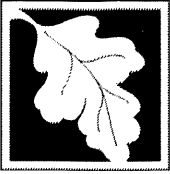
Certificate (if registered land)

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Massachusetts Department of Environmental Protection

Bureau of Resource Protection - Wetlands

WPA Form 8A – Request for Certificate of Compliance

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

DEP File Number:

91-259

Provided by DEP

A. Project Information (cont.)

6. Did the Order of Conditions for this project, or the portion of the project subject to this request, contain an approval of any plans stamped by a registered professional engineer, architect, landscape architect, or land surveyor?

☐ Yes

If yes, attach a written statement by such a professional certifying substantial compliance with the plans and describing what deviation, if any, exists from the plans approved in the Order.

X No

B. Submittal Requirements

Requests for Certificates of Compliance should be directed to the issuing authority that issued the final Order of Conditions (OOC). If the project received an OOC from the Conservation Commission, submit this request to that Commission. If the project was issued a Superseding Order of Conditions or was the subject of an Adjudicatory Hearing Final Decision, submit this request to the appropriate DEP Regional Office (see <http://www.mass.gov/eea/agencies/massdep/about/contacts/find-the-massdep-regional-office-for-your-city-or-town.html>).

MEMORANDUM

Date: September 9, 2022
To: Arlington Conservation Commission, c/o David Morgan
From: Ryan Clapp
Re: Certificate of Compliance - DEP #091-0259: #44 Hopkins Road

A Request for a Certificate of Compliance for DEP #091-0259 was received by the Arlington Conservation Commission on August 31, 2022. The details of the Order of Conditions are as follows:

Address:	44 Hopkins Road
Applicant:	Carolyn and Andrew Tiffany
Date of Issuance:	June 19, 2015
Recording Information:	Middlesex; Book 80653, Page 200
Approved Work:	Removal of existing asphalt surface of parking lot and replacement with crushed stone

On September 9, 2022, with the Applicants, I visited the site at #44 Hopkins Road to confirm that the project had been completed in accordance with the site plans, narrative, and Order of Conditions. Please see the attached photographs taken as exhibits.

Based on my observations onsite, I recommend the Arlington Conservation Commission issue a Certificate of Compliance for DEP #091-0259: #44 Hopkins Road.

Attachment A

Ongoing Conditions

DEP #091-0259: #44 Hopkins Road

35. Any plantings and landscaping within the 100-foot Buffer Zone (from the pond) shall conform to the following:

- (a) No plant materials shall be used of any species which appears on the attached list of invasive species.
- (b) Fertilizers, pesticides, or herbicides shall not be used within the Buffer Zone, except as noted in (c) unless a specific need for treating a particular specimen or species has been demonstrated to the Commission, and permission has been granted.
- (c) Fertilizers may be used at the time of installation of any plant materials, and once more within a year after planting.

This condition shall not expire with the issuance of a Certificate of Compliance.

36. The maintenance and upkeep (stated in document 3a. above) of the driveway shall be an ongoing condition of this permit and **shall not expire with the issuance of a Certificate of Compliance.**



Town of Arlington, Massachusetts

88 Coolidge Road Enforcement Order Ratification

Summary:

88 Coolidge Road Enforcement Order Ratification

ATTACHMENTS:

	Type	File Name	Description
▢	Reference Material	88_Coolidge_Road_Enforcement_Order_Package.pdf	88 Coolidge Road Enforcement Order Package



TOWN OF ARLINGTON
MASSACHUSETTS
CONSERVATION COMMISSION

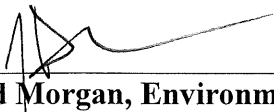
SITE VISIT SUMMARY

This document serves as a legal notice of the Arlington Conservation Commission's findings on a recent site visit. Questions concerning this notice should be directed to the Arlington Conservation Commission, telephone 781-316-3012

- A. Location of Site Visit: 88 Coolidge Road
- B. Attendees Present: David Morgan
- C. Date of Site Visit: 10.03.22
- D. Reason for Site Visit: Enforcement of reported violation,
- E. Findings: Heavy machinery on site with jackhammer
attachment, piles of rubble from bedrock excavation,
site almost fully excavated, no copy of DEC
on site
- F. Required Actions: ☒ Cease immediately all work on the property
☐ Call the office to discuss the matter by _____
☐ Attend the _____ meeting of the Conservation
Commission to discuss the matter. Call the office for details.
☐ No action required
- G. Follow-up Site Visit: N/A

A representative from the Arlington Conservation Commission will conduct a follow-up site visit to ensure continued compliance on or after the date listed above unless you call the office at 781-316-3012 to schedule a specific date and time for the site visit. Please feel free to call the office to discuss the matter.

H. Issuing Agent of the Commission

Signature:  Date: 10.03.22
Printed name: **David Morgan, Environmental Planner + Conservation Agent**



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands
WPA Form 9 – Enforcement Order
Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

DEP File Number:

091-0278

A. Violation Information

Important:

When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



This Enforcement Order is issued by:

Arlington

Conservation Commission (Issuing Authority)

10/03/2022

Date

To:

Jonathan Nyberg

Name of Violator

PO Box 292

Address

1. Location of Violation:

Property Owner (if different)

88 Coolidge Road

Street Address

Arlington

City/Town

147.0-0004-0008.

Assessors Map/Plat Number

02476

Zip Code

16-C, 15B

Parcel/Lot Number

2. Extent and Type of Activity (if more space is required, please attach a separate sheet):

Work does not conform to the Notice of Intent, failure to inform contractors and/or subcontractors of provisions of Order of Conditions, failure to submit design plans and structural design plans for southeast retaining wall, removal of bedrock, failure to hire an Excavation Monitor, conducting excavation without an Excavation Monitor on site

B. Findings

The Issuing Authority has determined that the activity described above is in a resource area and/or buffer zone and is in violation of the Wetlands Protection Act (M.G.L. c. 131, § 40) and its Regulations (310 CMR 10.00), because:

☐ the activity has been/is being conducted in an area subject to protection under c. 131, § 40 or the buffer zone without approval from the issuing authority (i.e., a valid Order of Conditions or Negative Determination).



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands
WPA Form 9 – Enforcement Order
Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

DEP File Number:

091-0278

B. Findings (cont.)

☒ the activity has been/is being conducted in an area subject to protection under c. 131, § 40 or the buffer zone in violation of an issuing authority approval (i.e., valid Order of Conditions or Negative Determination of Applicability) issued to:

Order of Conditions

10/03/2022

Name

Dated

091-0278

21, 24, 38, 39, 42, 43

File Number

Condition number(s)

☐ The Order of Conditions expired on (date):

Date

☐ The activity violates provisions of the Certificate of Compliance.

☐ The activity is outside the areas subject to protection under MGL c.131 s.40 and the buffer zone, but has altered an area subject to MGL c.131 s.40.

☐ Other (specify):

C. Order

The issuing authority hereby orders the following (check all that apply):

☒ The property owner, his agents, permittees, and all others shall immediately cease and desist from any activity affecting the Buffer Zone and/or resource areas.

☒ Resource area alterations resulting from said activity shall be corrected and the resource areas returned to their original condition.

☐ A restoration plan shall be filed with the issuing authority on or before

Date

for the following:

The restoration shall be completed in accordance with the conditions and timetable established by the issuing authority.



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands
WPA Form 9 – Enforcement Order
Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

DEP File Number:

091-0278

C. Order (cont.)

- ☐ Complete the attached Notice of Intent (NOI). The NOI shall be filed with the Issuing Authority on or before:

Date

for the following:

No further work shall be performed until a public hearing has been held and an Order of Conditions has been issued to regulate said work.

- ☐ The property owner shall take the following action (e.g., erosion/sedimentation controls) to prevent further violations of the Act:

Failure to comply with this Order may constitute grounds for additional legal action. Massachusetts General Laws Chapter 131, Section 40 provides: "Whoever violates any provision of this section (a) shall be punished by a fine of not more than twenty-five thousand dollars or by imprisonment for not more than two years, or both, such fine and imprisonment; or (b) shall be subject to a civil penalty not to exceed twenty-five thousand dollars for each violation". Each day or portion thereof of continuing violation shall constitute a separate offense.

D. Appeals/Signatures

An Enforcement Order issued by a Conservation Commission cannot be appealed to the Department of Environmental Protection, but may be filed in Superior Court.

Questions regarding this Enforcement Order should be directed to:

David Morgan

Name

781-316-3012

Phone Number

M-W 8 AM - 4 PM, Th 8 AM - 7 PM, F 8 AM - 12 PM

Hours/Days Available

Issued by:

Arlington

Conservation Commission

Conservation Commission signatures required on following page.



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands
WPA Form 9 – Enforcement Order
Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

DEP File Number:

091-0278

D. Appeals/Signatures (cont.)

In a situation regarding immediate action, an Enforcement Order may be signed by a single member or agent of the Commission and ratified by majority of the members at the next scheduled meeting of the Commission.

Signatures:

Signature

Printed Name

David Morgan

Signature

Printed Name

Signature

Printed Name

Signature

Printed Name

Signature

Printed Name

Signature

Printed Name

Signature

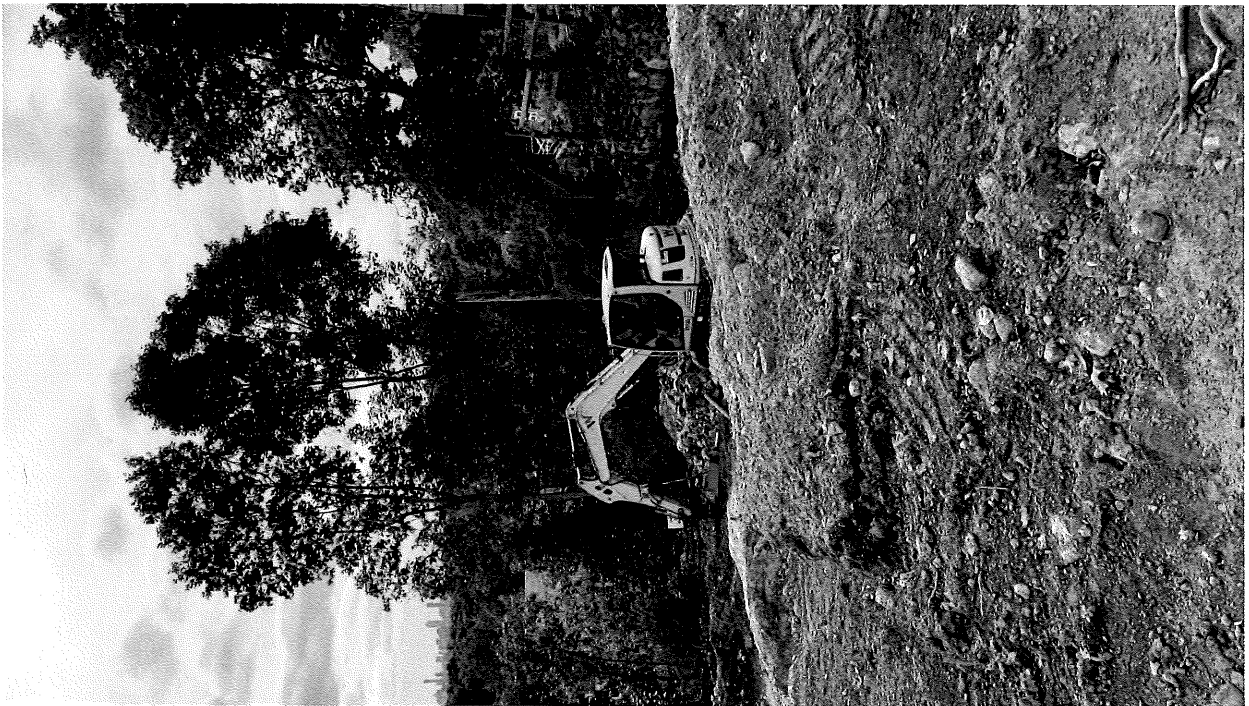
Printed Name

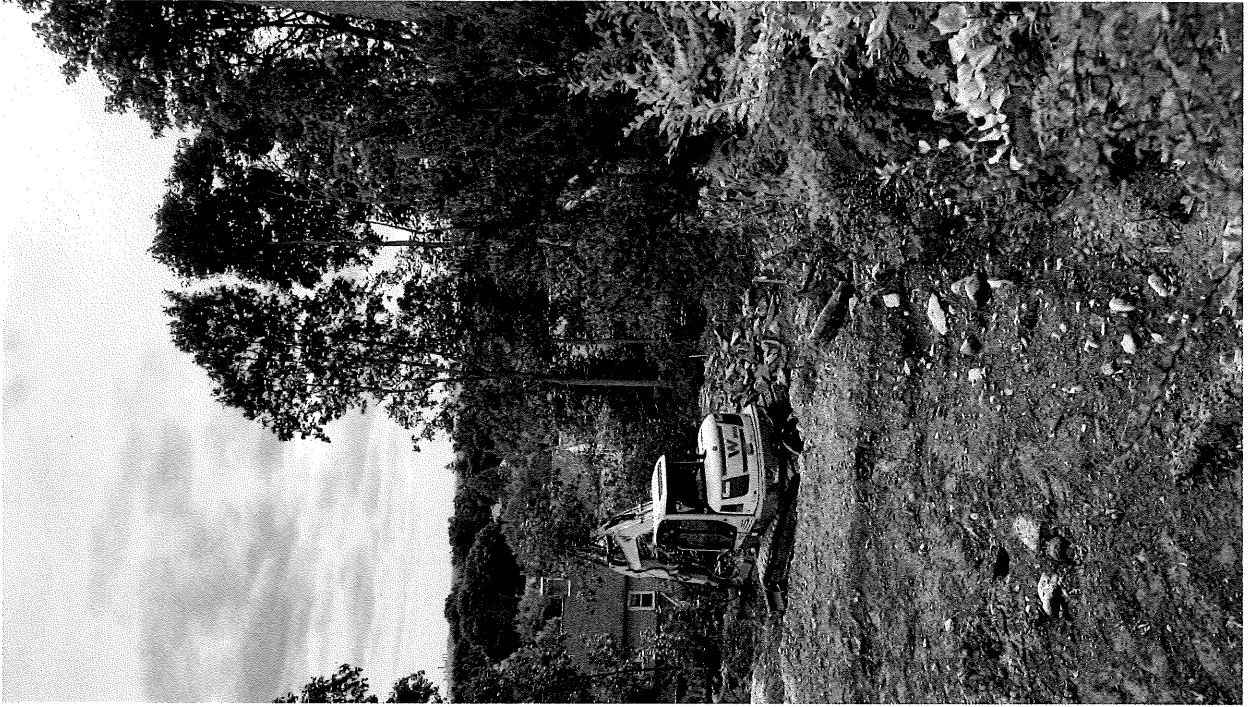
Signature

Printed Name

Signature of delivery person or certified mail number









Town of Arlington, Massachusetts

Notice of Intent: Drake Village Creative Placemaking

Summary:

Notice of Intent: Drake Village Creative Placemaking

Documents: Drake Village Creative Placemaking NOI Package

This public hearing will consider a Notice of Intent for work proposed to be conducted within the Riverfront Area, Buffer Zone, and Adjacent Upland Resource Area to Mill Brook. Improvements to the Drake Village Complex at 16-38 Drake Road include landscaping, repaving, and installation of amenities.

ATTACHMENTS:

	Type	File Name	Description
▢	Reference Material	Drake_Village_NOI_Application_Package.pdf	Drake Village NOI Application Package



TOWN OF ARLINGTON
MASSACHUSETTS
CONSERVATION COMMISSION

SUBMITTING A NOTICE OF INTENT (NOI)

NOI applications are for projects directly impacting wetlands, also known as resource areas. The filing outlines wetlands protection measures to be taken before, during, and after construction. This guide is an aid to completing the NOI process. Please consult the legal resources listed at the end of this document.

The NOI process determines whether and how your proposed project will be able to proceed. There are five steps to the process.

1. Meet with the Conservation Agent
2. Write the application
3. Submit the application
4. Present the project at a public hearing
5. Receive and file the Order of Conditions paperwork

MEET WITH THE CONSERVATION AGENT

Contact the Conservation Agent by phone at (781) 316-3012 or by email at concomm@town.arlington.ma.us to request a meeting. A short phone call is usually all that is needed. If your project includes adding over 350 square feet of impervious surface, you will need to consult with the Engineering Division about compliance with the Arlington Stormwater Management Bylaw.

A [schedule of upcoming hearings has been provided in Appendix A](#) for your scheduling purposes.

WRITE THE APPLICATION

The following list is required for filing an NOI. Please use the links below to find the forms and information you need. Please check off each item as you have completed it.

- ☒ [Wetlands Protection Act Form 3](#)
- ☒ Plan of the proposed work showing, at minimum, all the applicable following details:
 - Property boundaries, easements, rights-of-way, etc.
 - Boundaries of 25-ft, 50-ft, and 100-ft from all resource areas
 - Boundaries of the 100-ft Wetlands Buffer Zone and Adjacent Upland Resource Area
 - Boundaries of the 200-ft Riverfront Area Buffer Zone
 - Base flood elevation or floodplain boundaries
 - Soil characteristics
 - Existing and proposed topography, structures, and other physical features
 - Erosion controls
- ☒ [Topographic map of the site](#) (Click Layers >> Elevation)

- ☒ [FEMA floodplain map of the site](#)
- ☒ Certified list of abutters requested from [the Arlington Assessor's Office](#)
- ☒ [Bylaw Filing Fees and Transmittal Form](#)
- N/A ☐ Bylaw filing fee made payable to the Town of Arlington
- ☒ [State Filing Fee Calculation Worksheet](#)
- N/A ☐ State filing fee checks: one made payable to the Commonwealth of Massachusetts, the other to the Town of Arlington
- ☒ [Completed abutter notification form letter](#)
 - The Conservation Agent will provide you with the date of your hearing.
- ☒ [Signed Affidavit of Service](#)
- ☒ Project narrative describing in detail the proposed work, its location, and wetland resource area impacts. The narrative should address all the applicable following details:
 - Status of [Estimated Habitat of Rare Wildlife and/or Priority Habitats of Rare Species](#) on site
 - Stormwater and drainage reports, including how designs conform to the [Arlington Engineering Division's Stormwater Management Standards](#) and the [Department of Environmental Protection's Stormwater Management Standards](#)
 - NOAA Atlas 14+ shall be used for analysis of the 10-, 50-, and 100-year storms.
 - Conformance with US Army Corps of Engineers permit requirements

Additional details may be required by the Conservation Commission, Department of Environmental Protection, or both.

- ☐ 401 Water Quality Certification
- ☐ Chapter 91 License

SUBMIT THE APPLICATION

The NOI packet needs to be submitted two weeks prior to the preferred date of the hearing. When you are ready to submit, please deliver the following to Town Hall:

- *For the Conservation Agent*
 - ☒ One electronic copy of the full filing
 - ☒ One printed copy of the full filing
- *For the Conservation Commission*
 - ☒ One printed copy of the full filing packaged with valid postage for shipping within Arlington
 - ☒ Three full size copies of all submitted plans, each packaged with valid postage for shipping within Arlington
- *For the Massachusetts Department of Environmental Protection*
 - ☒ One printed copy of the full filing packaged with valid postage to Wilmington (ZIP code 01887)

Massachusetts Department of Environmental
Protection
Bureau of Resource Protection - Wetlands
WPA Form 3 - Notice of Intent
Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:
MassDEP File #:
eDEP Transaction #:1408526
City/Town:ARLINGTON

A.General Information

1. Project Location:

a. Street Address	16-38 DRAKE ROAD	c. Zip Code	02476
b. City/Town	ARLINGTON	e. Longitude	71.19016W
d. Latitude	42.42620N	g.Parcel/Lot #	1-4.A
f. Map/Plat #	62		

2. Applicant:

☐ Individual ☒ Organization

a. First Name	JACK	b.Last Name	NAGLE
c. Organization	ARLINGTON HOUSING AUTHORITY		
d. Mailing Address	740 MASS AVE		
e. City/Town	ARLINGTON	f. State	MA
g. Zip Code	02476		
h. Phone Number	781-646-3400	i. Fax	
j. Email	jnagle@arlingtonhousing.org		

3.Property Owner:

☐ more than one owner

a. First Name	JACK	b. Last Name	NAGLE
c. Organization	ARLINGTON HOUSING AUTHORITY		
d. Mailing Address	740 MASS AVE		
e. City/Town	ARLINGTON	f.State	MA
g. Zip Code	02476		
h. Phone Number	781-646-3400	i. Fax	
j.Email	jnagle@arlingtonhousing.org		

4.Representative:

a. First Name	MICHAEL	b. Last Name	CARTER
c. Organization	GCG ASSOCIATES, IN.C		
d. Mailing Address	84 MAIN STREET		
e. City/Town	WILMINGTON	f. State	MA
g. Zip Code	01887		
h.Phone Number	978-657-9714	i.Fax	
j.Email	mike.carter@gcgassociates.net		

5.Total WPA Fee Paid (Automatically inserted from NOI Wetland Fee Transmittal Form):

a.Total Fee Paid	0.00	b.State Fee Paid	0.00	c.City/Town Fee Paid	0.00
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6.General Project Description:

7a.Project Type:

- | | |
|---|--|
| 1. <input type="checkbox"/> Single Family Home | 2. <input type="checkbox"/> Residential Subdivision |
| 3. <input type="checkbox"/> Limited Project Driveway Crossing | 4. <input type="checkbox"/> Commercial/Industrial |
| 5. <input type="checkbox"/> Dock/Pier | 6. <input type="checkbox"/> Utilities |
| 7. <input type="checkbox"/> Coastal Engineering Structure | 8. <input type="checkbox"/> Agriculture (eg., cranberries, forestry) |
| 9. <input type="checkbox"/> Transportation | 10. <input checked="" type="checkbox"/> Other |

7b.Is any portion of the proposed activity eligible to be treated as a limited project subject to 310 CMR 10.24 (coastal) or 310 CMR 10.53 (inland)?

Massachusetts Department of Environmental Protection

Bureau of Resource Protection - Wetlands

WPA Form 3 - Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:
MassDEP File #:
eDEP Transaction #:1408526
City/Town:ARLINGTON

1. ☐ Yes ☒ No If yes, describe which limited project applies to this project:
2. Limited Project

8. Property recorded at the Registry of Deeds for:

a. County:	b. Certificate:	c. Book:	d. Page:
SOUTHERN MIDDLESEX		9171	327

B. Buffer Zone & Resource Area Impacts (temporary & permanent)

1. Buffer Zone & Resource Area Impacts (temporary & permanent):

☐ This is a Buffer Zone only project - Check if the project is located only in the Buffer Zone of a Bordering Vegetated Wetland, Inland Bank, or Coastal Resource Area.

2. Inland Resource Areas: (See 310 CMR 10.54 - 10.58, if not applicable, go to Section B.3. Coastal Resource Areas)

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
a. <input type="checkbox"/> Bank	1. linear feet	2. linear feet
b. <input type="checkbox"/> Bordering Vegetated Wetland	1. square feet	2. square feet
c. <input type="checkbox"/> Land under Waterbodies and Waterways	1. Square feet	2. square feet
	3. cubic yards dredged	
d. <input type="checkbox"/> Bordering Land Subject to Flooding	1. square feet	2. square feet
	3. cubic feet of flood storage lost	4. cubic feet replaced
e. <input type="checkbox"/> Isolated Land Subject to Flooding	1. square feet	
	2. cubic feet of flood storage lost	3. cubic feet replaced
f. <input checked="" type="checkbox"/> Riverfront Area	Mill Brook	
	1. Name of Waterway (if any)	
2. Width of Riverfront Area (check one)	<input type="checkbox"/> 25 ft. - Designated Densely Developed Areas only <input type="checkbox"/> 100 ft. - New agricultural projects only <input checked="" type="checkbox"/> 200 ft. - All other projects	
3. Total area of Riverfront Area on the site of the proposed project		106338 square feet
4. Proposed Alteration of the Riverfront Area:		
15800	4300	11500
a. total square feet	b. square feet within 100 ft.	c. square feet between 100 ft. and 200 ft.
5. Has an alternatives analysis been done and is it attached to this NOI?		<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

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☒ Yes ☐ No

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
---------------	-----------------------------	-------------------------------

a. <input type="checkbox"/> Designated Port Areas	Indicate size under	Land under the ocean below,
b. <input type="checkbox"/> Land Under the Ocean	1. square feet	
	2. cubic yards dredged	
c. <input type="checkbox"/> Barrier Beaches	Indicate size under Coastal Beaches and/or Coastal Dunes, below	
d. <input type="checkbox"/> Coastal Beaches	1. square feet	2. cubic yards beach nourishment
e. <input type="checkbox"/> Coastal Dunes	1. square feet	2. cubic yards dune nourishment
f. <input type="checkbox"/> Coastal Banks	1. linear feet	
g. <input type="checkbox"/> Rocky Intertidal Shores	1. square feet	
h. <input type="checkbox"/> Salt Marshes	1. square feet	2. sq ft restoration, rehab, crea.
i. <input type="checkbox"/> Land Under Salt Ponds	1. square feet	
	2. cubic yards dredged	
j. <input type="checkbox"/> Land Containing Shellfish	1. square feet	
k. <input type="checkbox"/> Fish Runs	Indicate size under Coastal Banks, Inland Bank, Land Under the Ocean, and/or inland Land Under Waterbodies and Waterways, above	
	1. cubic yards dredged	
l. <input type="checkbox"/> Land Subject to Coastal Storm Flowage	1. square feet	

☐ Restoration/Replacement

If the project is for the purpose of restoring or enhancing a wetland resource area in addition to the square footage that has been entered in Section B.2.b or B.3.h above, please entered the additional amount here.

b. square feet of Salt Marsh

☐ Project Involves Streams Crossings

If the project involves Stream Crossings, please enter the number of new stream crossings/number of replacement stream crossings.

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a. number of new stream crossings

b. number of replacement stream crossings

C. Other Applicable Standards and Requirements

Streamlined Massachusetts Endangered Species Act/Wetlands Protection Act Review

1. Is any portion of the proposed project located in **Estimated Habitat of Rare Wildlife** as indicated on the most recent Estimated Habitat Map of State-Listed Rare Wetland Wildlife published by the Natural Heritage of Endangered Species program (NHESP)?

a. ☐ Yes ☒ No

If yes, include proof of mailing or hand delivery of NOI to:

Natural Heritage and Endangered Species

Program

Division of Fisheries and Wildlife

1 Rabbit Hill Road

Westborough, MA 01581

b. Date of map:FROM MAP VIEWER

If yes, the project is also subject to Massachusetts Endangered Species Act (MESA) review (321 CMR 10.18)...

c. Submit Supplemental Information for Endangered Species Review * (Check boxes as they apply)

1. ☐ Percentage/acreage of property to be altered:

(a) within Wetland Resource Area

percentage/acreage

(b) outside Resource Area

percentage/acreage

2. ☐ Assessor's Map or right-of-way plan of site

3. ☐ Project plans for entire project site, including wetland resource areas and areas outside of wetland jurisdiction, showing existing and proposed conditions, existing and proposed tree/vegetation clearing line, and clearly demarcated limits of work **

a. ☐ Project description (including description of impacts outside of wetland resource area & buffer zone)

b. ☐ Photographs representative of the site

c. ☐ MESA filing fee (fee information available at: <http://www.mass.gov/eea/agencies/dfg/dfw/natural-heritage/regulatory-review/mass-endangered-species-act-mesa/mesa-fee-schedule.html>)

Make check payable to "Natural Heritage & Endangered Species Fund" and **mail to NHESP** at above address

Projects altering 10 or more acres of land, also submit:

d. ☐ Vegetation cover type map of site

e. ☐ Project plans showing Priority & Estimated Habitat boundaries

d. OR Check One of the following

1. ☐ Project is exempt from MESA review. Attach applicant letter indicating which MESA exemption applies. (See 321 CMR 10.14, <http://www.mass.gov/eea/agencies/dfg/dfw/laws-regulations/cmr/321-cmr-1000-massachusetts-endangered-species-act.html#10.14>; the NOI must still be sent to NHESP if the project is within estimated habitat pursuant to 310 CMR 10.37 and 10.59.)

2. ☐ Separate MESA review ongoing.

a. NHESP Tracking Number

b. Date submitted to NHESP

3. ☐ Separate MESA review completed.

□ **Massachusetts Department of Environmental Protection**

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Include copy of NHESP "no Take" determination or valid Conservation & Management Permit with approved plan.

* Some projects **not** in Estimated Habitat may be located in Priority Habitat, and require NHESP review...

2. For coastal projects only, is any portion of the proposed project located below the mean high waterline or in a fish run?
a. ☒ Not applicable - project is in inland resource area only

b. ☐ Yes ☐ No

If yes, include proof of mailing or hand delivery of NOI to either:

South Shore - Cohasset to Rhode Island, and the Cape & Islands:

North Shore - Hull to New Hampshire:

Division of Marine Fisheries -
Southeast Marine Fisheries Station
Attn: Environmental Reviewer
836 S. Rodney French Blvd
New Bedford, MA 02744

Division of Marine Fisheries -
North Shore Office
Attn: Environmental Reviewer
30 Emerson Avenue
Gloucester, MA 01930

If yes, it may require a Chapter 91 license. For coastal towns in the Northeast Region, please contact MassDEP's Boston Office.
For coastal towns in the Southeast Region, please contact MassDEP's Southeast Regional office.

3. Is any portion of the proposed project within an Area of Critical Environmental Concern (ACEC)?

a. ☐ Yes ☒ No

If yes, provide name of ACEC (see instructions to WPA Form 3 or DEP Website for ACEC locations). **Note:** electronic filers click on Website.

b. ACEC Name

4. Is any portion of the proposed project within an area designated as an Outstanding Resource Water (ORW) as designated in the Massachusetts Surface Water Quality Standards, 314 CMR 4.00?

a. ☐ Yes ☒ No

5. Is any portion of the site subject to a Wetlands Restriction Order under the Inland Wetlands Restriction Act (M.G.L.c. 131, § 40A) or the Coastal Wetlands Restriction Act (M.G.L.c. 130, § 105)?

a. ☐ Yes ☒ No

6. Is this project subject to provisions of the MassDEP Stormwater Management Standards?

a. ☐ Yes, Attach a copy of the Stormwater Report as required by the Stormwater Management Standards per 310 CMR 10.05(6)(k)-(q) and check if:

1. Applying for Low Impact Development (LID) site design credits (as described in Stormwater Management Handbook

☐ Vol.2, Chapter 3)

2. ☐ A portion of the site constitutes redevelopment

3. ☐ Proprietary BMPs are included in the Stormwater Management System

b. ☒ No, Explain why the project is exempt:

1. ☐ Single Family Home

2. ☐ Emergency Road Repair

☐ **Massachusetts Department of Environmental Protection**

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3. Small Residential Subdivision (less than or equal to 4 single-family houses or less than or equal to 4 units in multi-family housing project) with no discharge to Critical Areas.

D. Additional Information

Applicants must include the following with this Notice of Intent (NOI). See instructions for details.

Online Users: Attach the document transaction number (provided on your receipt page) for any of the following information you submit to the Department by regular mail delivery.

1. USGS or other map of the area (along with a narrative description, if necessary) containing sufficient information for the Conservation Commission and the Department to locate the site. (Electronic filers may omit this item.) ☒
2. Plans identifying the location of proposed activities (including activities proposed to serve as a Bordering Vegetated Wetland [BVW] replication area or other mitigating measure) relative to the boundaries of each affected resource area. ☒
3. Identify the method for BVW and other resource area boundary delineations (MassDEP BVW Field Data Form(s)). ☒
4. Determination of Applicability, Order of Resource Area Delineation, etc.), and attach documentation of the methodology. ☒
4. List the titles and dates for all plans and other materials submitted with this NOI. ☒

a. Plan Title: b. Plan Prepared By: c. Plan Signed/Stamped By: c. Revised Final Date: e. Scale:

CREATIVE PLACE
MAKING GRANT
DRAKE VILLAGE

CROWLEY
COTTRELL, LLC

August 4, 2022

5. If there is more than one property owner, please attach a list of these property owners not listed on this form. ☐
6. Attach proof of mailing for Natural Heritage and Endangered Species Program, if needed. ☐
7. Attach proof of mailing for Massachusetts Division of Marine Fisheries, if needed. ☐
8. Attach NOI Wetland Fee Transmittal Form. ☒
9. Attach Stormwater Report, if needed. ☐

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E. Fees

1. Fee Exempt: No filing fee shall be assessed for projects of any city, town, county, or district of the Commonwealth, federally recognized Indian tribe housing authority, municipal housing authority, or the Massachusetts Bay Transportation Authority.

Applicants must submit the following information (in addition to pages 1 and 2 of the NOI Wetland Fee Transmittal Form) to confirm fee payment:

2. Municipal Check Number

3. Check date

4. State Check Number

5. Check date

6. Payer name on check: First Name

7. Payer name on check: Last Name

F. Signatures and Submittal Requirements

I hereby certify under the penalties of perjury that the foregoing Notice of Intent and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge. I understand that the Conservation Commission will place notification of this Notice in a local newspaper at the expense of the applicant in accordance with the wetlands regulations, 310 CMR 10.05(5)(a).

I further certify under penalties of perjury that all abutters were notified of this application, pursuant to the requirements of M.G.L. c. 131, § 40. Notice must be made by Certificate of Mailing or in writing by hand delivery or certified mail (return receipt requested) to all abutters within 100 feet of the property line of the project location.

Arlington Housing Authority

1. Signature of Applicant

8/17/2022

2. Date

3. Signature of Property Owner(if different)

4. Date

Limhuot Tiv, GCG Associates, Inc.

5. Signature of Representative (if any)

8/17/2022

6. Date

For Conservation Commission:

Two copies of the completed Notice of Intent (Form 3), including supporting plans and documents, two copies of the NOI Wetland Fee Transmittal Form, and the city/town fee payment, to the Conservation Commission by certified mail or hand delivery.

For MassDEP:

One copy of the completed Notice of Intent (Form 3), including supporting plans and documents, one copy of the NOI Wetland Fee Transmittal Form, and a **copy** of the state fee payment to the MassDEP Regional Office (see Instructions) by certified mail or hand delivery.

Other:

If the applicant has checked the "yes" box in Section C, Items 1-3, above, refer to that section and the Instructions for additional submittal requirements.

The original and copies must be sent simultaneously. Failure by the applicant to send copies in a timely manner may result in dismissal of the Notice of Intent.

Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands
WPA Form 3 - Notice of Wetland Fee Transmittal Form
Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:
MassDEP File #:
eDEP Transaction #:1408526
City/Town: ARLINGTON

A. Applicant Information

1. Applicant:

a. First Name	JACK	b. Last Name	NAGLE
c. Organization	ARLINGTON HOUSING AUTHORITY		
d. Mailing Address	740 MASS AVE		
e. City/Town	ARLINGTON	f. State	MA
g. Zip Code	02476		
h. Phone Number	7816463400	i. Fax	
j. Email	jnagle@arlingtonhousing.org		

2. Property Owner: (if different)

a. First Name	JACK	b. Last Name	NAGLE
c. Organization	ARLINGTON HOUSING AUTHORITY		
d. Mailing Address	740 MASS AVE		
e. City/Town	ARLINGTON	f. State	MA
g. Zip Code	02476		
h. Phone Number	7816463400	i. Fax	
j. Email	jnagle@arlingtonhousing.org		

3. Project Location:

a. Street Address	16-38 DRAKE ROAD	b. City/Town	ARLINGTON
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Are you exempted from Fee? ☐ (YOU HAVE SELECTED 'YES')

Note: Fee will be exempted if you are one of the following:

- City/Town/County/District
- Municipal Housing Authority
- Indian Tribe Housing Authority
- MBTA

State agencies are only exempt if the fee is less than \$100

B. Fees

Activity Type	Activity Number	Activity Fee	RF Multiplier	Sub Total
	City/Town share of filling fee	State share of filing fee	Total Project Fee	
	\$0.00	\$0.00	\$0.00	



Project Narrative
Notice of Intent Application
Drake Village
16-38 Drake Road
Arlington, MA

Project Summary

On behalf of the applicant, Arlington Housing Authority, GCG Associates hereby submits a Notice of Intent application for a project located at 16-38 Drake Road. The subject site is a 4.45± acre parcel known as Parcel ID 62-1-4.A under the Arlington Assessors department. The subject site is comprised of two elderly housing developments: Drake Village, which consists of 71 dwelling units in nine two-story buildings built in 1961, and the Hauser Building, which is a 144-unit seven story brick-faced steel frame midrise completed in 1975. Both developments are physically and socially integrated with the residents sharing the services, facilities and amenities offered by the common spaces at the Hauser and the open spaces of the Drake village, allowing both developments to function as a single campus.

As part of the scope of work to provide the shared open space on site, the applicant is proposing to resurface some of the degraded impervious areas, replace or provide new community features and provide new landscaping features. The areas in which the proposed work is being proposed are located within the wetland buffer limit and 200-ft & 100-ft Riverfront Area associated with the Mill Brook, located northeasterly of the subject site.

Jurisdiction

Bank (310 CMR 10.54) and Riverfront Area (310 CMR 10.58)

The subject resource area is Mill Brook, which is located just northeasterly of the subject site and flowing east from the Arlington/Lexington town line. Wetland boundary within the Town of Lexington was delineated by Norse Environmental Services, Inc. on January 25, 2022, and field located by GCG Associates, Inc. in January 2022. Wetland Boundary within the Town of Arlington was based on the Town of Arlington, Arlington Reservoir – Phase 2 Plan, as prepared by Kyle Zick Landscaping Architecture, Inc. Dated 02/04/2021.

The proposed scope of work can be broken down into three separate areas, one of which will occur within the 100-ft wetland buffer from top of bank and 200-ft Riverfront area while the remaining two are located just within limit of the 200-ft Riverfront area. The proposed work within the resource areas is limited to the replacement of existing degraded structures in an area that is already developed/disturbed prior to August 7, 1996. Additionally, new handicap accessibility and landscaping features shall be included to improve pedestrian accessibility, such as new trees, handicap curb ramps and new pedestrian walking paths.

Approximately 106,338 sq. ft. of the site area (including portion of the Drake Road right-of-way within project site), is within the 200 feet Riverfront area of Mill Brook. This Riverfront area was previously developed/disturbed in 1961 and 1975. The proposed work within the Riverfront area is approximately 15,800 sq. ft. (4,300 sq. ft. within 100 feet & 11,500 sq. ft. between 100 feet and 200 feet). Proposed work consists of repaving emergency vehicle access drive, re-configuring drop-off lane in front of Hauser Building (narrowing driveway width but widening curve radius for Fire Truck maneuvering) and widening walkway with wheelchair ramps to meet ADA/AAB standards. There is a net increase of approximately

300± sq. ft. of impervious area, which is a net increase of 0.25% over the 122,370 total impervious area on the existing site.

Riverfront Area Alternative Analysis

Costs, Existing Technology, Proposed Use and Logistics:

Costs. There is no economical profit related to this project, this is an elderly public housing and common/open space construction project to improve emergency vehicle access, pedestrian and residents of limited mobility accessibility, and bicycle safety within the Drake Village and Hauser elderly housing developments. These two developments were constructed in 1961 and 1975, respectively. There is existing driveway, sidewalk, walking path, seating benches within the two integrated developments. The Arlington Reservoir and the Minuteman Bike Way both border Drake Village and are not easily accessible to residents with limited mobility. This project is under the Commonwealth of Massachusetts, Department of Housing and Community Development (DHCD)'s Creative Place Making initiative seeks to encourage the intentional integration of the arts, culture, creativity, and design in a comprehensive reimagining of community spaces at housing authority developments to promote socially connected communities and resident wellbeing.

Existing Conditions. Both developments are physically and socially integrated with the residents sharing the services, facilities and amenities offered by the common spaces at the Hauser Building and the open spaces at Drake Village, allowing both developments to function as a single campus. The existing paved emergency access path at the northwest side of the Hauser Building is too narrow (8.5' wide at the narrowest section) for emergency vehicle access. The pedestrian access path to the Arlington Reservoir has been eroded overtime and is no longer a safe travel path, with the narrowest point being approximately a foot wide. The site walkways also lack wheelchair ramps and safety crossing points. Proposed improvements will include widening emergency vehicle access path to 10-foot width and widening walkway width to 5-foot minimum with vertical granite curbing protection and wheelchair ramps and associated crosswalks. Based on the current conditions, widening the pavement is the most cost-effective solution to provide the safety vehicle and pedestrian access.

Proposed Use and Logistics. The objective for this project is to promote socially connected communities and resident wellbeing by replacing or enhancing existing physical infrastructure (walks, fences, gates, vegetation, lighting, etc.) with safer, more attractive, and visually stimulating infrastructure. The proposed project includes the following objectives:

- Introduces new site features to encourage resident engagement with their surroundings (benches, community garden, raised planting beds, etc.)
- Provides opportunities for greater physical activity among residents (bike racks, outdoor exercise equipment, etc.)
- Encourages resident participation in designing, developing and engaging their environment. Facilitating and extending residents' connections to neighboring natural resources (Minuteman Bikeway, Arlington Reservoir walking paths, etc.) Since these two developments are majority within the 200-foot Riverfront area, relocate works to outside the 200 foot Riverfront area is unfeasible.

No Significant Adverse Impact. The proposed improvements are located within the previously disturbed areas. This project will create a net increase of 300± sq. ft. of impervious area, due to pavement widening to accommodate ADA/AAB and emergency vehicle accessibility. This project utilizes LID techniques to limit impervious area and control surface runoff to open area for treatments. Extensive landscaping improvements consist of new trees, shrubs, and perennials. Therefore, the proposed impacts to the riverfront area are avoided to the maximum extent practicable.

Proposed Work

Hauser Entrance (See Sheet L101, L201, L301 & L401)

The driveway in front of the Hauser building will be removed and repaved to reduce the existing driveway width from approximate 21.5 ft to 16 ft, while the edge of pavement curve has been reconfigured to allow for better emergency vehicle turning. Hardscape at the building entrance will also be replaced with new concrete pavement, bollards and new seating benches. The existing gazebo within the garden area will be removed and a seating area will be provided in place of it. Pedestrian walkway leading south towards #30 Drake Road will be repaved and new handicap curb ramps and crosswalk shall be provided connecting pedestrian access between the Hauser Building and #30 Drake Road.

The scope of work as described for this area that is located within the 200-ft Riverfront area is limited to the resurfacing of the driveway pavement leading up to the front of the building. New landscape plantings shall be provided all around the garden and building entrance. Disturbed topsoil shall be restored with loam and seed. Between the edge of pavement curve reconfiguration and narrowing of the driveway width, there is no net increase in impervious area in this location.

Hauser Rear (See Sheet L102, L202, L302 & L402)

Existing paved pathway and seating area shall be removed and replaced with new paving to allow for emergency vehicle access around the rear of the Hauser Building. The existing 8-ft wide driveway will be replaced with a uniform 10-ft wide path and new concrete pads will be installed to accommodate ADA benches and ADA picnic tables. New landscape gardens and plantings shall be provided along the improved pathway. Disturbed topsoil shall be restored with loam and seed and erosion control barrier shall be provided along the downgradient portion of the limit of work.

There is an increase of approximately 300± sq. ft. of impervious area associated with the proposed work as described for this location.

Reservoir Entrance (See Sheet L102, L202, L302 & L402)

The existing walkway with erosion damage leading down to the Arlington reservoir will be replaced with 5-ft wide walkway, handicap curb ramps, vertical granite curbing and crosswalk to provide pedestrian safety access. New ADA benches and bike racks will be installed to enhance the access path. New landscape plantings shall be provided, and disturbed lawn shall be restored with loam and seed. Erosion control barrier shall be provided along the downgradient portion of the limit of work.

The proposed scope of work as described in this section is located within the 100-ft buffer limit of the top of bank associated with Mill Brook. The proposed work is limited to the redevelopment of previously disturbed paved area and will be repaving right up to the existing walkway leading down to reservoir. There is no net increase in impervious area associated with the work as described in this location.

Arlington Regulations for Wetland Protection Variance Request

Section 25.D (Adjacent Upland Resource Area)

Requirement:	No activities or work, other than passive passage and resource area enhancement, are permitted within the first 25 feet of the Adjacent Upland Resource Area. Except as part of Resource Area Enhancement or an Ecological Restoration Project, no vegetation may be disturbed, as leaf litter and natural debris shall remain in place.
Requested:	Allow work to occur within the 25-ft No Disturbance area, specifically for the work as described above for the Reservoir Entrance. The work as described is limited to widening pedestrian access and handicap accessibility. Disturbed areas will be restored with loam and seed.

Massachusetts Stormwater Management Standards

1. No new stormwater conveyances (e.g. outfalls) may discharge untreated stormwater directly to or cause erosion in wetlands or waters of the Commonwealth.
 - *There are no new stormwater conveyances being proposed.*
2. Stormwater management systems shall be designed so that post-development peak discharge rates do not exceed pre-development peak discharge rates. This Standard may be waived for discharges to land subject to coastal storm flowage as defined in 310 CMR 10.04.
 - *This project has a net increase of 300± sq. ft. of impervious area. The total subject site is approximately 193,829 sq. ft., of which approximately 63% is impervious surface. GCG has compared the pre- and post-development conditions and found no increase in peak stormwater runoff rates for the 2-, 10- and 25- and 100-year storm events.*
3. Loss of annual recharge to groundwater shall be eliminated or minimized through the use of infiltration measures including environmentally sensitive site design, low impact development techniques, stormwater best management practices, and good operation and maintenance.
 - *The increase of 300± sq. ft. of impervious area would require approximately 15 cu. ft. (0.56 cu. yd.) of groundwater recharge volume. Since this is a small volume, the proposed extensive landscape improvements and new vegetation roots will promote site infiltration to offset the recharge volume.*
4. Stormwater management systems shall be designed to remove 80% of the average annual post-construction load of Total Suspended Solids (TSS).
 - *The net increase impervious area will continue to sheet flow over 100-ft length of vegetated grass lawn area, which provides surface treatment of stormwater runoff for an area that is mainly used as pedestrian access with the occasional emergency vehicle use.*
5. For land uses with higher potential pollutant loads, source control and pollution prevention shall be implemented in accordance with the Massachusetts Stormwater Handbook to eliminate or reduce the discharge of stormwater runoff from such land uses to the maximum extent practicable.
 - *Not applicable to the subject site.*
6. Stormwater discharges within the Zone II or Interim Wellhead Protection Area of a public water supply, and stormwater discharges near or to any other critical area, require the use of the specific source control and pollution prevention measures and the specific structural stormwater best management practices determined by the Department to be suitable for managing discharges to such areas, as provided in the Massachusetts Stormwater Handbook.
 - *Not applicable to the subject site.*
7. A redevelopment project is required to meet the following Stormwater Management Standards only to the maximum extent practicable: Standard 2, Standard 3, and the pretreatment and structural best management practice requirements of Standards 4, 5, and 6. Existing stormwater discharges shall comply with Standard 1 only to the maximum extent practicable. A redevelopment project shall also comply with all other requirements of the Stormwater Management Standards and improve existing conditions.
 - *The application as proposed is a redevelopment project for a site with existing on-site stormwater conveyances that collect stormwater and being discharged to the adjacent property that is also owned by the Town of Arlington. The re-surfacing of the degraded paved areas will help to reduce the amount of sediment being washed away and collected by the on-site drainage structures. The*

increase in impervious area (300± sq. ft.) is considered as new development, which generates a negligible amount of stormwater runoff in comparison to the existing 4.45± acre fully developed site.

8. A plan to control construction-related impacts including erosion, sedimentation and other pollutant sources during construction and land disturbance activities (construction period erosion, sedimentation, and pollution prevention plan) shall be developed and implemented.
 - *See Construction Operation and Maintenance Plan.*
9. A long-term operation and maintenance plan shall be developed and implemented to ensure that stormwater management systems function as designed.
 - *See Long-term Operation and Maintenance Plan.*
10. All illicit discharges to the stormwater management system are prohibited.
 - *See signed Illicit Discharge Statement.*

Site Photos



Overview of Hauser Entrance.



Overview of Hauser Rear.



Overview of Reservoir Entrance.

CONSTRUCTION PERIOD POLLUTION PREVENTION AND SEDIMENTATION EROSION CONTROL PLAN

DRAKE VILLAGE/HAUSER HOUSING ARLINGTON HOUSING AUTHORITY, ARLINGTON, MASSACHUSETTS

I. INTRODUCTION

The maintenance program below provides for a general construction plan with specific requirements for the Drake Village/Hauser Housing, Creative Place Making Grant, Drake Village project and stormwater management controls. The program is based on the recommended standards presented in the DEP Stormwater Management Policy Handbook dated February 2008.

II. RESPONSIBILITY AND IMPLEMENTATION

The implementation and execution of this maintenance program shall be the responsibility of the construction period contractor.

Construction activities shall conform to the approved project construction plans referenced below and any other regulations or requirements of the Town of Arlington. Mulch filter tubes and silt fence shall be installed prior to construction. All sediment controls shall be in place before construction shall begin and shall be properly maintained throughout the course of construction. During construction, silt laden runoff shall not be permitted.

All BMPs and sediment controls shall be inspected, by the contractor, on a weekly basis and within 24 hours of a rain event that generates more than ½" of rain in a 24-hour period.

Should any dewatering activities be required, the contractor shall make certain that all pumped water is free of sediment prior to discharging. The methods for removing any sediment shall be approved by the Town prior to any dewatering activities commencing.

III. MAINTENANCE AND INSPECTION SCHEDULE

Maintenance of Stormwater BMP's

The following temporary and permanent erosion and sediment control BMPs are to be implemented in the stormwater management system and shall be monitored and maintained to assure continuous and effective performance. All inspections shall be conducted in accordance with the required schedule indicated below. Maintenance and repair shall be performed as required or if the effectiveness of the BMP is diminished.

A. Catch Basins with Deep Sumps

Each catch basin shall be protected with silt sacks and stone, as shown on the details contained in the project plan set referenced below. All accumulated sediment, debris, etc., should be removed as necessary. All sediment and debris removed from the silt sacks or catch basins shall be properly handled and disposed of in accordance with local, state, and federal guidelines and regulations. Catch basins with deep sumps should also be inspected on a monthly basis. Any required maintenance or repairs noted during the inspection should be addressed immediately.

B. Compost Sock & Orange Construction Fence

Compost Socks shall be installed per project plan set referenced below and should be inspected regularly, as well as after each rainfall event, to ensure that they are intact and the area behind the tube is not filled with sediment. If there is excessive ponding behind the sock or accumulated sediments reach the top of the sock, an additional sock should be added on top or in front of the existing filter sock in these areas, without disturbing the soil or accumulated sediment. If the compost sock tube was overtopped during a storm event, the operator should consider installing an additional compost sock on top of the original, placing an additional compost sock further up the slope, or using an additional BMP, such as a compost blanket in conjunction with the tube(s). Construction fence shall be inspected regularly, and torn or damaged sections repaired immediately.

Maintenance requires the removal of sediment before it has accumulated to one-half of the above ground height of any perimeter control

C. Surface Stabilization

The surface of all disturbed areas shall be stabilized during and after construction. Temporary measures shall be taken during construction to prevent erosion and siltation. All disturbed slopes will be stabilized with a permanent vegetative cover. Some or all of the following measures will be utilized on this project as conditions may warrant.

- a. Temporary seeding (perform weekly if establishment is less than 80%)
- b. Temporary mulching
- c. Permanent seeding (perform weekly if establishment is less than 80%)
- d. Placement of sod
- e. Hydroseeding
- f. Placement of Hay
- g. Placement of Jute Netting

D. Preserve Natural Vegetation and Buffer Zones

Inspect limit of disturbance boundary for encroachment and Injury/exposure of tree roots. Inspections shall be conducted daily.

E. Dust Control

Apply/re-apply dust control measures to minimize dust from the site. Dust control activities shall be performed daily during dry weather.

Inspection Requirements

All temporary and permanent erosion and sediment controls shall be inspected by qualified personnel. Inspection Technician shall assess the conditions of the site, the effectiveness of any erosion and sediment controls and provide recommendations and directions to ensure effective control of stormwater runoff, and suitable water quality discharge from construction activity.

Inspections shall include the entire area within the limit of disturbance of construction activity and stockpile/staging areas. A report shall be prepared identifying all areas of erosion, sediment accumulation, the condition and of all BMP's (structural and non-structural) and identify those in need of repair.

Maintenance

The site contractor is responsible for the installation and maintenance of all construction period erosion and sedimentation controls and BMP's. Prior to acceptance and approval of the completed stormwater management system, the entire system shall be inspected and cleaned in order to ensure the system will function as designed.

If it is observed through the course of construction that modifications to the system are necessary to provide proper treatment the work shall be performed prior to the next storm event.

IV. REFERENCES

- Plan Set: Creative Place Making Grant, Drake Village. Plans prepared by Crowley Cottrell, LLC., and dated August 2022.

STORMWATER AND DRAINAGE OPERATION AND MAINTENANCE PLAN

Name of Project: Creative Place Making Grant, Drake Village

Location: Drake Village/ Hauser Housing, Drake Road, Arlington, MASSACHUSETTS

Name of Owner/Operator: Arlington Housing Authority, 4 Winslow Street, Arlington, MA. 02474

Owner/Operator Signature: _____, Date _____

I. INTRODUCTION

The maintenance program below provides for a general plan with specific requirements for stormwater management controls for **Drake Village & Hauser Housing, Drake Road, Arlington, MA.** The program is based on the recommended standards presented in the DEP Stormwater Management Policy Handbook Volume 2, Chapter 2 and Guidelines for Stormwater Management and Controlling Urban Runoff: A Practical Manual for Planning and Designing Urban BMPs, by Thomas R. Schueler, July 1987 and Gravelpave2 manufacturer's (Invisible Structures) maintenance guide.

II. RESPONSIBILITY AND IMPLEMENTATION

The property owner is the owner of all components of the drainage system as listed in Section III below, until property ownership is transferred, at which the drainage system becomes the property of the successive owner. The implementation, execution, and financing of this maintenance program and emergency repairs shall be the responsibility of the property owner until property ownership is transferred, at which time maintenance and repairs shall be the responsibility of the successive owner.

III. GENERAL REQUIREMENTS

Construction activities shall conform to the approved site plans and any other regulations or requirements of the Town of Arlington. Silt sacks shall be installed at the limit of work prior to construction. All sediment controls shall be in place before construction shall begin and shall be properly maintained throughout the course of construction. During construction, silt laden runoff shall not be permitted to enter the nearby wetlands or abutting properties.

All BMPs and sediment controls shall be inspected, by the Applicant, on a weekly basis and within 24 hours of a rain event that generates more than ½" of rain in a 24 hour period. Once each BMP is installed it shall be operated and maintained in accordance with the Post Construction Operation & Maintenance Plan.

Should any dewatering activities be required, the Applicant shall make certain that the all pumped water is free of sediment prior to discharging to the nearby wetlands. The methods for removing any sediment shall be approved by the Town prior to any dewatering activities commence.

IV. BMP MAINTENANCE

Maintenance of Facilities: The Owner agrees to comply with a minimum maintenance schedule as follows:

A. Catch Basin with Deep Sump System

Catch basins with deep sumps and oil hood should be inspected four (4) times per year and after every major storm event. All accumulated sediment, debris, organic matter, etc., should be removed during this time. All sediment and debris removed from the catch basins should be properly handled and disposed of in accordance with local, state, and federal guidelines and regulations. Any required maintenance or repairs noted during the inspection should be addressed immediately. During each inspection, the drains should be inspected for evidence of clogging, and if necessary, any maintenance shall be performed so that it functions as designed. The catch basin grate, and sump shall be cleaned four times per year, and when sediment in the bottom of the sump reaches 24 inches below the bottom of the outlet pipe.

B. Street Sweeping

Driveway, associated parking areas, and sidewalks adjacent to the roadway (where possible) should be swept by a street sweeper a minimum of twice per year, early spring and late fall.

C. Grassed Area

Maintain vegetation; mow or cut back if impedes water movement or grass health. Inspect eroded areas repair and reseed as needed.

V. GENERAL

Dispose of the collected grit, sediment and debris in accordance with current Town/City State and Federal guidelines and regulations.

Operation and Maintenance Budget

Inspection: \$100 per year

Mowing: \$500 per year

Cleaning and remove sediment: \$400 per year

Total annual budget = \$1,000

VI. REFERENCES

Plan Set: Creative Place Making Grant, Drake Village. Arling, MA Plans prepared by Crowley Cottrell, LLC. and dated August 2022.

Stormwater System Inspection Checklist

INSPECTOR'S NAME & DATE:			
NAME & ADDRESS OF FACILITY:			
GENERAL OBSERVATIONS (IS WATER FLOWING?):			
WEATHER:			
	Checked? (Y/N)	Maintenance Needed? (Y/N)	Maintenance Completed/ Observations & Remarks
Catch Basin with Deep Sump and Oil Hood <ul style="list-style-type: none"> Inspect 4 times per year and after major storm events Clean 4 times per year 			
Look for damage or cracks to frame, grate, basin walls, or bottom. If found, repair or replace.			
Look for sediment and trash in catch basin sump. Clean out if sediment fills 50% of the sump or comes within 24" of outlet pipe.			
Look for blockages and vegetation obstructing pipe inlets and outlets. Remove blockages.			
Remove trash blocking grates or inlets; replace if broken.			
Grassed Slope <ul style="list-style-type: none"> Should be mowed weekly between the months of May to September. 			
Regular maintenance tasks include mowing, fertilizing, watering, pruning, weeding, and pest control. Maintain an average grass height of 4-6 inches to maintain the depth necessary to serve as a conveyance. Re-seed periodically to maintain the dense growth of grass vegetation.			
Street Sweeping <ul style="list-style-type: none"> Street sweeping shall be performed at least twice per year. 			
Remove any accumulated sediment, debris, organic matter, etc. with standard street sweeping equipment, early spring and late fall. All sweepings removed must be handled and disposed of properly according to the federal, state, and local regulations.			

Standard #10: All illicit discharges to the stormwater management system are prohibited.

I. STATEMENT

This site as shown on the plan set titled “Creative Place Making Grant - Drake Village, Arlington, Massachusetts”, prepared by Crowley Cottrell, LLC dated August 2022, does not contain any illicit discharges, this was confirmed using visual screening as required by standard 10 of the “Massachusetts Stormwater Handbook” Vol. 1, Ch. 1 page 25. The project proponent, owner, or lessee (in perpetuity) must comply with local, state, and federal regulations for the discharge of illicit discharges from the site. Illicit discharges are discharges that are not entirely comprised of storm water. Notwithstanding the foregoing, an illicit discharge does not include discharges from the following activities:

- Fire fighting
- Water line flushing
- Landscape irrigation
- Uncontaminated ground water
- Potable water sources
- Foundation drains
- Air conditioning condensation
- Footing drains
- Individual car washing
- Water used for street washing and water used to clean residential buildings without detergents

The project proponent, owner, or lessee (in perpetuity) shall adhere to this report on file with the Town of Arlington Conservation Commission.



- Abutting Towns
- Water Body
- Water Line
- Elevation Contour (2ft)
- Buildings
- Master Plan - Town Boundary
- Master Plan Base Map - Shaded
- Parcels - For Gray Background
- Highways - White Interstate
- US Highway
- State Highway
- Pavement Markings
- Impervious Surface - For Background
- Street
- Sidewalk
- Street Island
- Driveway
- Parking Lot
- Bike Path
- Roads - For Large Scale (ft)
- Roads - For Small Scale (ft)
- Major Road
- Local Road
- Master Plan Base Map - M
- Master Plan Base Map - W
- Master Plan Base Map - W
- Town Boundary - Gray Background

Arlington Reservoir

Sickle Brook

Mill Brook

Drake Rd

Massachusetts Ave

48 of 68

The data shown on this site are provided for informational and planning purposes only. The Town and its consultants are not responsible for the misuse or misrepresentation of the data.



Printed on 08/17/2022 at 11:28 AM

National Flood Hazard Layer FIRMette

71°11'44"W 42°25'50"N



Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS

Without Base Flood Elevation (BFE)
Zone A, V, AE
With BFE or Depth Zone AE, AO, AH, VE, AR
Regulatory Floodway

0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
Future Conditions 1% Annual Chance Flood Hazard Zone X
Area with Reduced Flood Risk due to Levee, See Notes, Zone X
Area with Flood Risk due to Levee Zone D

OTHER AREAS OF FLOOD HAZARD

OTHER AREAS

GENERAL STRUCTURES

Cross Sections with 1% Annual Chance

OTHER FEATURES

MAP PANELS

MAP PANELS

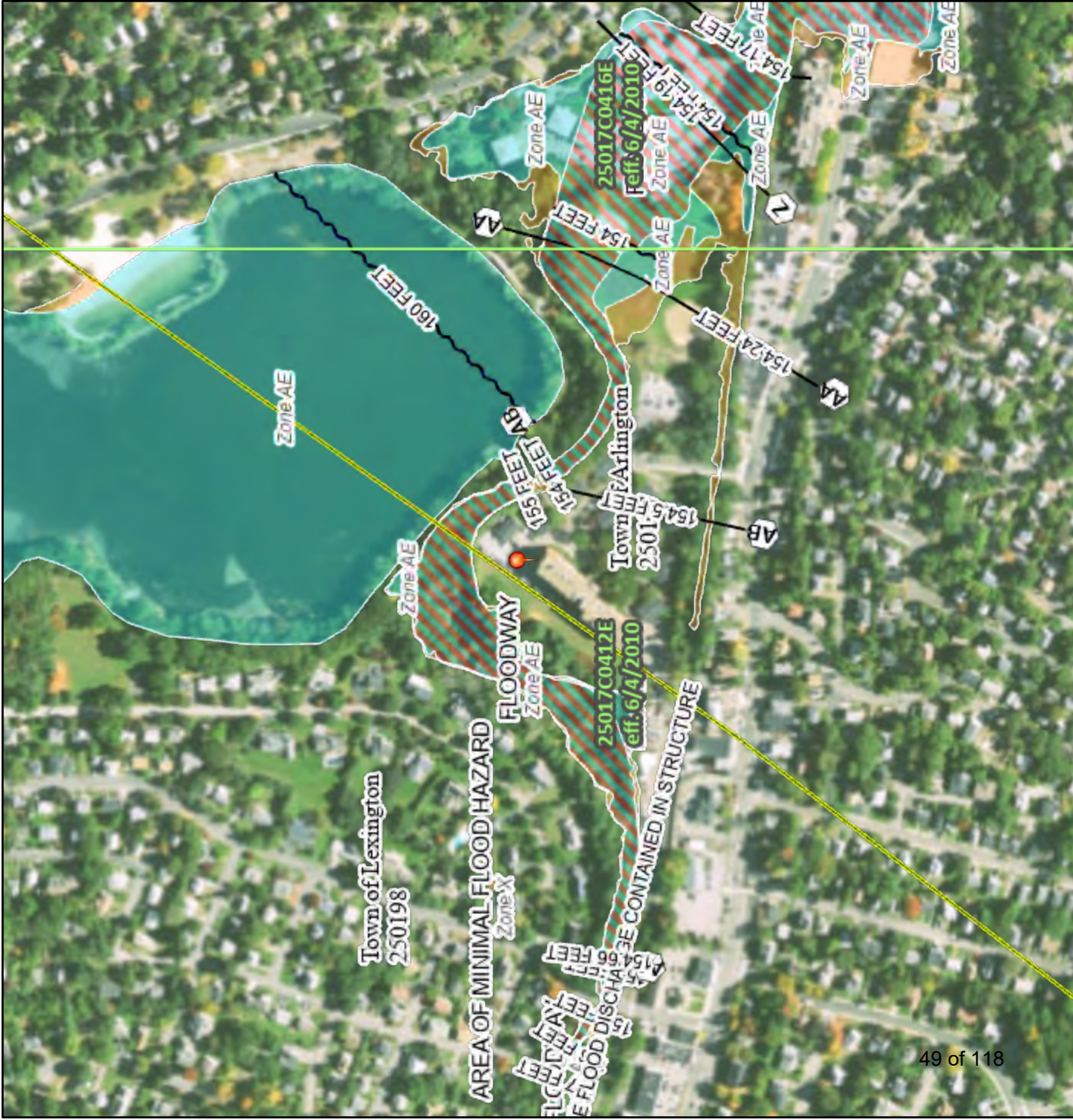
MAP PANELS

MAP PANELS

MAP PANELS

MAP PANELS

MAP PANELS



This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards.

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 8/3/2022 at 11:53 AM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmapped areas cannot be used for regulatory purposes.

The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.



Office of the
Board of Assessors
Robbins Memorial Town Hall
Arlington, MA 02476
(781) 316-3050
Assessors@town.arlington.ma.us

Abutters List

Date: August 4, 2022

Subject Property Address: 16-38 DRAKE RD Arlington, MA
Subject Property ID: 62-1-4.A

Search Distance: 100 Feet

The Board of Assessors certifies the names and addresses of requested parties in interest, all abutters within 100 feet of the property lines, of subject property.

**BOARD OF ASSESSORS
TOWN HALL
ARLINGTON, MA 02476**

Board of Assessors

ABUTTERS LIST

Date: August 4, 2022

Subject Property Location: 16-38 DRAKE RD Arlington, MA

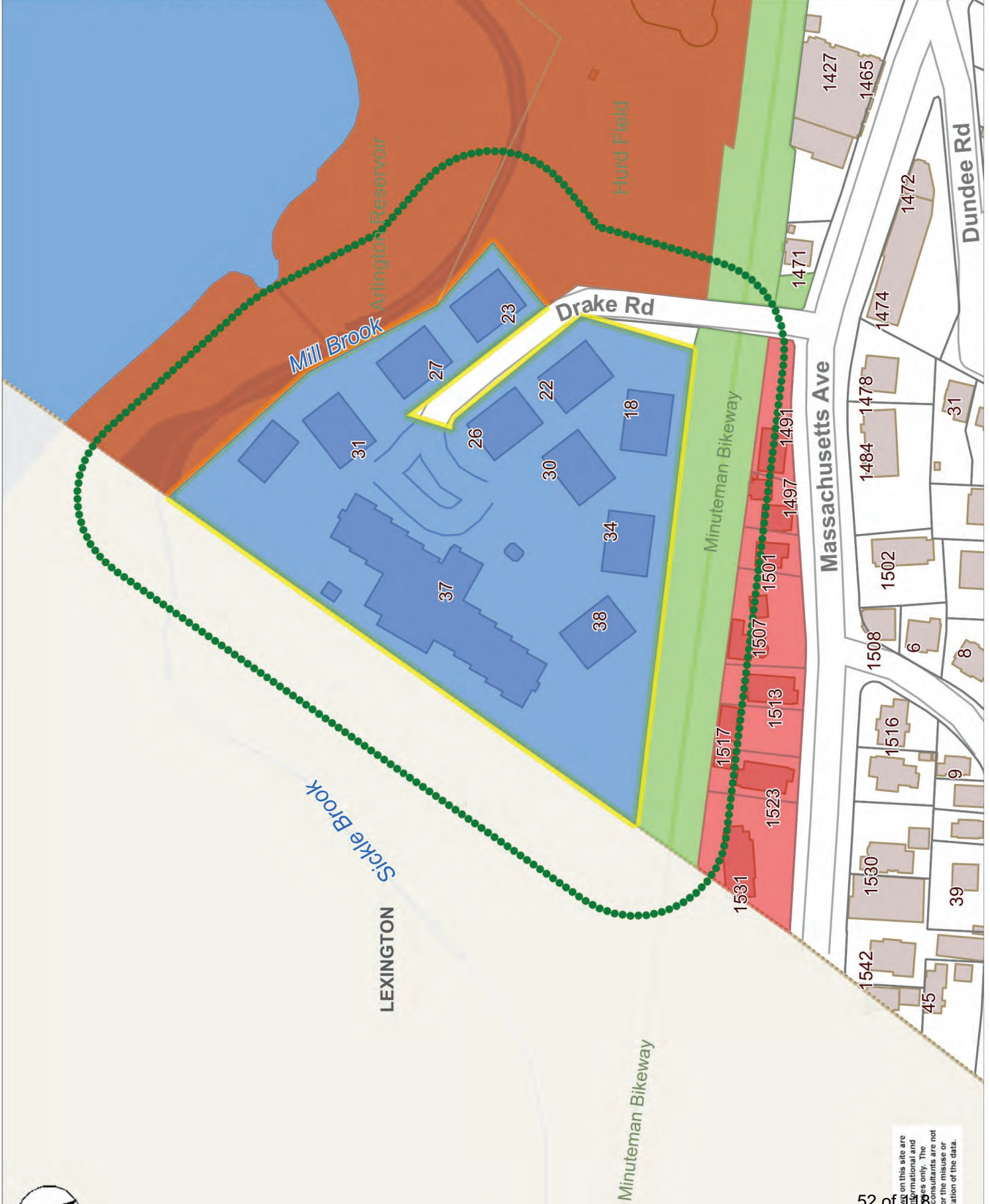
Subject Property ID: 62-1-4.A

Search Distance: 100 Feet

Mailing Address				
Parcel ID	Property Location	Owner 1	Owner 2	Street Address City/Town State Zip
61-1-3	0-LOT MASS AVE	TOWN OF ARLINGTON PARK		730 MASS AVE ARLINGTON MA 02476
61-1-4	0-LOT LOWELL ST	TOWN OF ARLINGTON PARK		730 MASS AVE ARLINGTON MA 02476
62-1-3.B	1491-1493 MASS AVE	VENTURA SALVATORE &	VENTURA BRIGITTE	1491 MASS AVE ARLINGTON MA 02476
62-1-4.A	16-38 DRAKE RD	ARLINGTON HOUSING AUTHORITY	DRAKE VILLAGE	730 MASS AVE ARLINGTON MA 02476
62-1-6	1497 MASS AVE	PANNESI DAVID J/DARIA A		1497 MASS AVE ARLINGTON MA 02476
62-1-7	1501 MASS AVE	HEALEY JAMES T & JOSEPHINE		1501 MASS AVE ARLINGTON MA 02476
62-1-8	1507-1511 MASS AVE	STATHOPOULOS HARALAMBOS N ETAL	STATHOPOULOS DIMITRIOS/ ESTATE	1511 MASS AVE FLOOR 2 ARLINGTON MA 02476
62-1-10	1513-1515 MASS AVE	GRASSI ARMANDO & ANGELA	TRS/1513-1517 MASS AVE TR	12 LONGMEADOW RD ARLINGTON MA 02474
62-1-11.A	1517-1519 MASS AVE	GRASSI ARMANDO & ANGELA		12 LONGMEADOW RD ARLINGTON MA 02474
62-1-12.A	1521-1523 MASS AVE	GINIVISIAN GEORGE P-JANET L	TRS/LEMAC TRUST	55 BOW ST LEXINGTON MA 02420
62-1-14	1531 MASS AVE	HUNT PATRICK & KEEGAN MICHAEL	TRS/1531 MASS AVE REALTY TRUST	19 CURVE ST LEXINGTON MA 02420



- Places by Category
- Police Station
 - Fire Station
 - School
 - Library
 - Public Works
 - Recreation - Facilities
 - Recreation - Fields Courts
 - Recreation - Fields Courts
 - Open Space: Conservation
 - Open Space: Minuteman
 - Open Space - Labels
 - Open Space
 - Open Space: Town, State, or Private
 - Other Town Owned
 - MA Highways
 - Interstate
 - US Highway
 - Numbered Routes
 - Abutting Towns
 - Town Boundary
 - Parcels
 - Buildings
 - Cemetery - Roads
 - Road1
 - Road2
 - Road3
 - Road4
 - Pavement Markings
 - Impervious Surface - For B
 - Street
 - Sidewalk
 - Street Island
 - Driveway
 - Driveway Lot
 - Bike Path
 - Roads - For Large Scale (f
 - Roads - For Small Scale (f
 - Major Road
 - Local Road
 - Master Plan Base Map - M
 - Water Line
 - Water Body





Town of Lexington
Assessor's Office

Robert F. Lent, Director of Assessing

Tel: (781) 698-4578

Fax: (781) 861-2733

Email: TAO@lexingtonma.gov

August 9, 2022

Abutters List

Subject Property Address: 16-38 Drake Rd Arlington, MA

The Board of Assessors certifies the names and addresses of requested parties in interest, all abutters in Lexington within 100 ft of 16-38 Drake Rd Arlington, MA.

Town of Lexington
Board of Assessors
1625 Massachusetts Ave.
Lexington, MA 02420

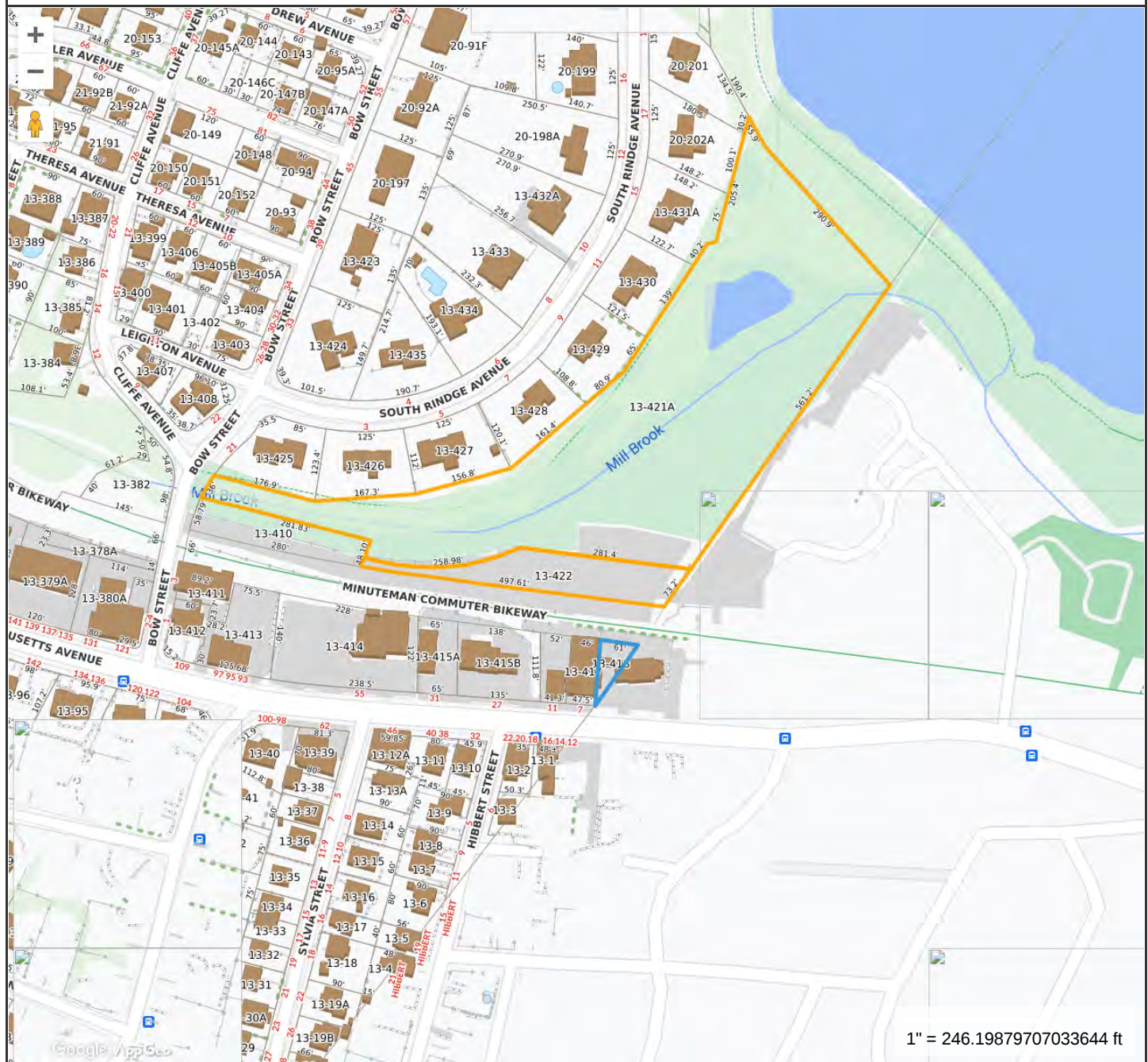
Board of Assessors

13-421A
TOWN OF LEXINGTON
1625 MASS VE
LEXINGTON, MA 02420

13-422
KELJIKIAN MALCOLM &
1542 MASS AVE
ARLINGTON, MA 02474

13-418
HUNT PATRICK & KEEGAN MICHAEL TRUSTEES
1581 MASSACHUSETTS AVE
ARLINGTON, MA 02476

Lexington Abutters for 16-38 Drake Rd Arlington

**Property Information**

Property ID 13-418
Location MASSACHUSETTS AVE
Owner HUNT PATRICK & KEEGAN MICHAEL TRUSTEES



**MAP FOR REFERENCE ONLY
NOT A LEGAL DOCUMENT**

Town of Lexington, MA makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated on a daily basis
 Data updated on a daily basis

Print map scale is approximate.
 Critical layout or measurement activities should not be done using this resource.

Bylaw Filing Fees and Transmittal Form

Rules:

1. Fees are payable at the time of filing the application and are non-refundable.
2. Fees shall be calculated per schedule below.
3. Town, County, State, and Federal Projects are exempt from fees.
4. These fees are in addition to the fees paid under M.G.L. Ch. 131, s.40 (ACT).

Fee Schedule (ACC approved 1/8/15):

\$	No./Area	Category
		(R1) RDA - \$150 local fee, no state fee
		(N1) Minor Project - \$200 (house addition, tennis court, swimming pool, utility work, work in/on/or affecting any body of water, wetland or floodplain).
		(N2) Single Family Dwelling - \$600
Fee exempt per Rule No. 3		(N3) Multiple Dwelling Structures - \$600 + \$100 per unit all or part of which lies within 100 feet of wetlands or within land subject to flooding.
		(N4) Commercial, Industrial, and Institutional Projects - \$800 + 50¢/s.f. wetland disturbed; 2¢/s.f. land subject to flooding or buffer zone disturbed.
		(N5) Subdivisions - \$600 + \$4/l.f. feet of roadway sideline within 100 ft. of wetlands or within land subject to flooding.
		(N6) Other Fees - copies, printouts; per public records law
		(N7) Minor Project Change - \$50
		(N8) Work on Docks, Piers, Revetments, Dikes, etc - \$4 per linear foot
		(N9) Resource Boundary Delineation (ANRAD) - \$1 per linear foot
		(N10) Certificate of Compliance (COC or PCOC) - No charge if before expiration of Order, \$200 if after that date.
		(N11) Amendments - \$300 or 50% of original local filing fee, whichever is less.
		(N12) Extensions -
		a. Single family dwelling or minor project - \$100.
		b. Other - \$150.
		(N13) Consultant Fee -per estimate from consultant
	TOTAL	

Note: Submit this form along with the forms submitted for the ACT - the "Wetlands Filing Fee Calculations Worksheet," and the "Notice of Intent Fee Transmittal Form."

ABUTTER NOTIFICATION

Notification to Abutters Under the Massachusetts Wetlands Protection Act and Arlington Wetlands Protection Bylaw

In accordance with the second paragraph of Massachusetts General Laws Chapter 131, Section 40, and the Arlington Wetlands Protection Bylaw, you are hereby notified of the following:

The Conservation Commission will hold a virtual public meeting using Zoom, on **October 6, 2022** at 7:00 PM in accordance with the provisions of the Mass. Wetlands Protection Act (M.G.L. Ch. 131, s. 40, as amended), the Town of Arlington Bylaws Article 8, Bylaw for Wetland Protection, and in accordance with the Governor's Order Suspending Certain Provisions of the Open Meeting Law, G. L. c. 30A, § 20 relating to the COVID-19 emergency, for a Notice of Intent from **Arlington Housing Authority**, for **Site Improvement work at Drake Village (16-38 Drake Road)** within 100 feet of a wetland, on Assessor's Property **Map #62, Lot #1-4A**. Please refer to the Commission's online meeting agenda for specific Zoom meeting access information.

A copy of the application and accompanying plans are available by request by contacting the Arlington Conservation at 781-316-3012 or concomm@town.arlington.ma.us. For more information, call the applicant's representative, GCG Associates, Inc at 978-657-9714, or the Arlington Conservation Commission (781-316-3012), or the DEP Northeast Regional Office (978-694-3200).

NOTE: Notice of the Public Hearing will be published at least five (5) business days in advance in *The Arlington Advocate* and will also be posted at least 48 hours in advance in the Arlington Town Hall.

AFFIDAVIT OF SERVICE

I, Limhuot Tiv, being duly sworn, do hereby state as follows: on 9/2/2022, I mailed a "Notification to Abutters" in compliance with the second paragraph of Massachusetts General Laws, Chapter 131, s.40, the DEP Guide to Abutter Notification dated April 8, 1994, and the Arlington Wetlands Protection Bylaw, Title V, Article 8 of the Town of Arlington Bylaws in connection with the following matter:

Proposed site improvement work for the project at:

Drake Village (16-38 Drake Road)

The form of the notification, and a list of the abutters to whom it was provided and their addresses, are attached to this Affidavit of Service.

Signed under the pains and penalties of perjury, this 2 day of *September*, 2022.

Limhuot Tiv
Name

DRAKE VILLAGE

ARLINGTON, MASSACHUSETTS

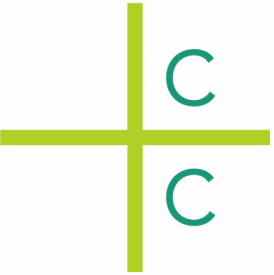
DHCD Project # 010103
Arlington Housing Authority

Creative Place Making Grant
Drake Village

16-38 Drake Road
Arlington, MA 02476

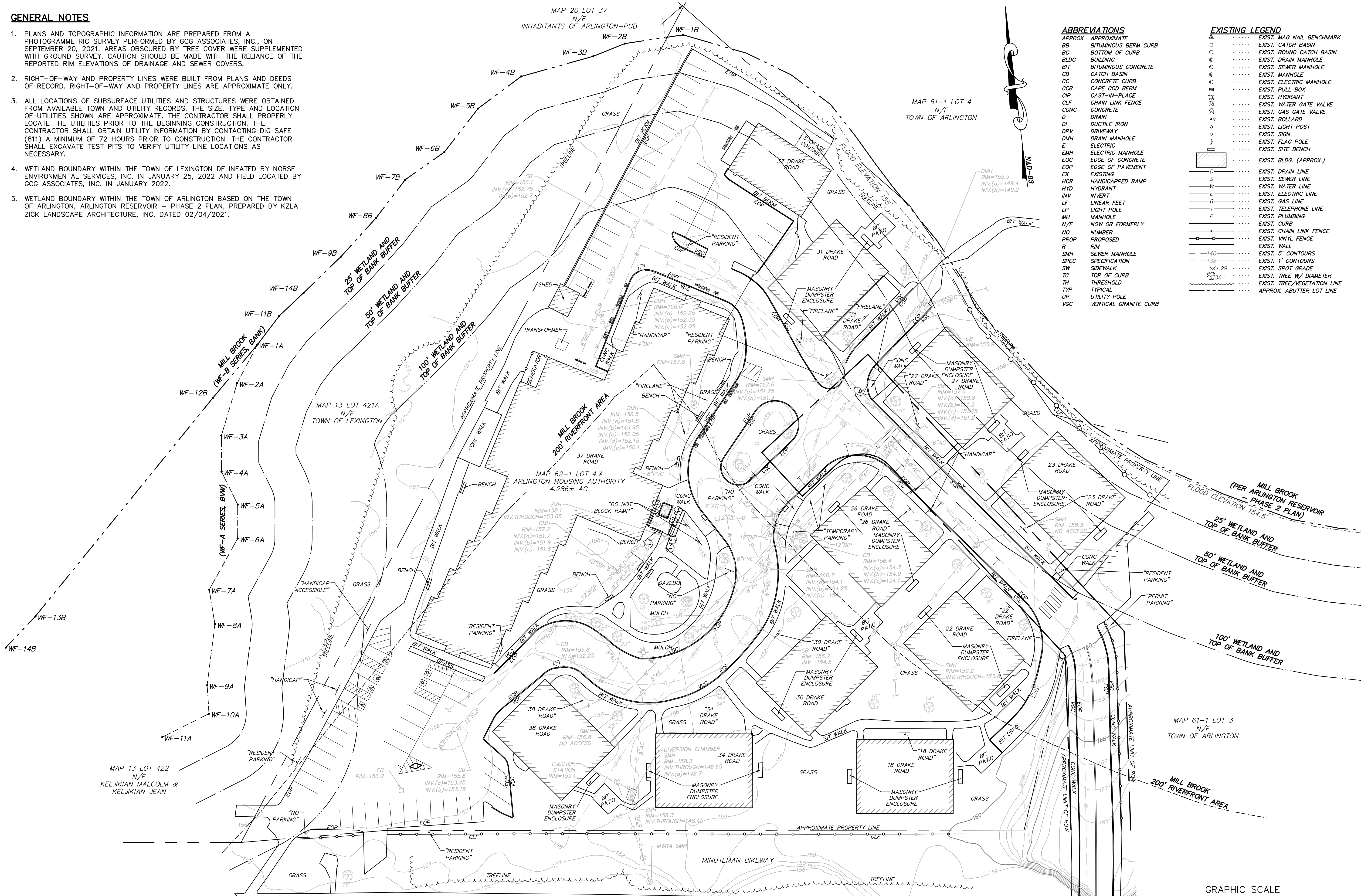
DRAWING LIST

S100	SURVEY
L000-A	NOTES AND LEGENDS
L000-B	KEY PLAN
L101	DEMOLITION PLAN - HAUSER FRONT
L102	DEMOLITION PLAN - HAUSER REAR + RESERVOIR ENTRY
L201	MATERIAL PLAN - HAUSER FRONT
L202	MATERIAL PLAN - HAUSER REAR + RESERVOIR ENTRY
L301	GRADING PLAN - HAUSER FRONT
L302	GRADING PLAN - HAUSER REAR + RESERVOIR ENTRY
L401	PLANTING PLAN - HAUSER FRONT
L402	PLANTING PLAN - HAUSER REAR + RESERVOIR ENTRY
L500	DETAILS
L501	DETAILS
L502	DETAILS
L503	DETAILS



GENERAL NOTES

1. PLANS AND TOPOGRAPHIC INFORMATION ARE PREPARED FROM A PHOTOGRAMMETRIC SURVEY PERFORMED BY GCG ASSOCIATES, INC., ON SEPTEMBER 20, 2021. AREAS OBSCURED BY TREE COVER WERE SUPPLEMENTED WITH GROUND SURVEY. CAUTION SHOULD BE MADE WITH THE RELIANCE OF THE REPORTED RIM ELEVATIONS OF DRAINAGE AND SEWER COVERS.
2. RIGHT-OF-WAY AND PROPERTY LINES WERE BUILT FROM PLANS AND DEEDS OF RECORD. RIGHT-OF-WAY AND PROPERTY LINES ARE APPROXIMATE ONLY.
3. ALL LOCATIONS OF SUBSURFACE UTILITIES AND STRUCTURES WERE OBTAINED FROM AVAILABLE TOWN AND UTILITY RECORDS. THE SIZE, TYPE AND LOCATION OF UTILITIES SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL PROPERLY LOCATE THE UTILITIES PRIOR TO THE BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN UTILITY INFORMATION BY CONTACTING DIG SAFE (811) A MINIMUM OF 72 HOURS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL EXCAVATE TEST PITS TO VERIFY UTILITY LINE LOCATIONS AS NECESSARY.
4. WETLAND BOUNDARY WITHIN THE TOWN OF LEXINGTON DELINEATED BY NORSE ENVIRONMENTAL SERVICES, INC. IN JANUARY 25, 2022 AND FIELD LOCATED BY GCG ASSOCIATES, INC. IN JANUARY 2022.
5. WETLAND BOUNDARY WITHIN THE TOWN OF ARLINGTON BASED ON THE TOWN OF ARLINGTON, ARLINGTON RESERVOIR – PHASE 2 PLAN, PREPARED BY KZLA ZICK LANDSCAPE ARCHITECTURE, INC. DATED 02/04/2021.



DRAKE VILLAGE

PLAN
SCALE: 1" = 30'

ABBREVIATIONS

APPROX	APPROXIMATE
BB	BOTTOM OF CURB
BLDG	BUILDING
BIT	BITUMINOUS CONCRETE
CB	CATCH BASIN
CC	CONCRETE CURB
CCB	CAPE COD BERM
CLF	CHAIN LINK FENCE
CONC	CONCRETE
D	DRAIN
DI	DUCTILE IRON
DRV	DRIVEWAY
DMH	DRAIN MANHOLE
E	ELECTRIC
EMH	ELECTRIC MANHOLE
EOC	EDGE OF CONCRETE
EOP	EDGE OF PAVEMENT
EX	EXISTING
HCR	HANDICAPPED RAMP
HYD	HYDRANT
INV	INVERT
LF	LINEAR FEET
LP	LIGHT POLE
MH	MANHOLE
N/F	NOW OR FORMERLY
NO	NUMBER
PROP	PROPOSED
R	RIM
SMH	SEWER MANHOLE
SPEC	SPECIFICATION
SW	SIDEWALK
TC	TOP OF CURB
TH	THRESHOLD
TYP	TYPICAL
UP	UTILITY POLE
VGC	VERTICAL GRANITE CURB

EXISTING LEGEND

.....	EXIST. MAG NAIL BENCHMARK
.....	EXIST. CATCH BASIN
.....	EXIST. ROUND CATCH BASIN
.....	EXIST. DRAIN MANHOLE
.....	EXIST. SEWER MANHOLE
.....	EXIST. MANHOLE
.....	EXIST. ELECTRIC MANHOLE
.....	EXIST. PULL BOX
.....	EXIST. HYDRANT
.....	EXIST. WATER GATE VALVE
.....	EXIST. GAS GATE VALVE
.....	EXIST. BOLLARD
.....	EXIST. LIGHT POST
.....	EXIST. SIGN
.....	EXIST. FLAG POLE
.....	EXIST. SITE BENCH
.....	EXIST. BLDG. (APPROX.)
.....	EXIST. DRAIN LINE
.....	EXIST. SEWER LINE
.....	EXIST. WATER LINE
.....	EXIST. ELECTRIC LINE
.....	EXIST. GAS LINE
.....	EXIST. TELEPHONE LINE
.....	EXIST. PLUMBING
.....	EXIST. CURB
.....	EXIST. CHAIN LINK FENCE
.....	EXIST. VINYL FENCE
.....	EXIST. WALL
.....	EXIST. 5' CONTOURS
.....	EXIST. 1' CONTOURS
.....	EXIST. SPOT GRADE
.....	EXIST. TREE W/ DIAMETER
.....	EXIST. TREE/VEGETATION LINE
.....	APPROX. BUTTER LOT LINE

PROJECT:

DHCD Project # 010103
Arlington Housing Authority

Creative Place Making Grant
Drake Village

16-38 Drake Road
Arlington, MA 02476

Landscape Architecture



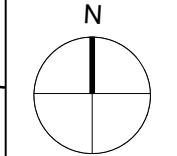
Crowley Cottrell, LLC
171 Milk St, Fl 2
Boston, MA 02109

617.338-8400
crowleycottrell.com

Civil Engineering

GCG ASSOCIATES, INC.
WILMINGTON, MASSACHUSETTS
(978) 657-9714

No. Date
Revision



STAMP:

DATE:

August 25, 2022

PROJECT NUMBER:

2128

SCALE:

1" = 30'-0"

DRAWING TITLE:

SURVEY

S100

GENERAL NOTES

- Existing conditions and topography data are from a survey prepared by GCG Associates, Inc- 84 Main Street, Wilmington, MA 01887 - 03-08-2022.
- Contractor shall verify location of any existing utilities and services and provide protection during construction. Utilities damaged during construction shall be repaired at contractors expense.
- Contractor shall obtain permits for the work as required and comply with all laws, ordinances, rules and regulations of the local jurisdiction, the state, and all other authorities having jurisdiction.
- Contractor shall leave site clean and orderly during construction process. Remove from site all excess materials, soil, debris and equipment. Store materials only in an approved location.
- Contractor responsible to furnish, deliver, and install all items within the scope of work unless otherwise noted.
- Resetting of curbs includes patching and repair to adjacent asphalt.

DEMOLITION NOTES

- Contractor shall verify all existing conditions in the field and report any discrepancies between plans and actual conditions to Landscape Architect before beginning work.
- Building, structure and paving removal shall include the disconnection and capping of any utilities, footings, slabs, associated base material and satisfactory off-site disposal of all debris produced through the removal operations.
- Tree and shrub removal shall include the felling, cutting, grubbing out of roots and satisfactory off-site disposal of all stumps vegetative and extraneous debris produced through the removal operations.
- Existing trees and shrubs to remain shall not be altered under any circumstances and must remain in the same condition as observed prior to construction.
- No heavy machinery is to be used within the root system of existing trees. Excavation within root system zones is to be performed by hand.
- Any items scheduled to remain which are damaged by Contractor's operations shall be at Contractor's expense.
- Any items scheduled to be stockpiled on site which are damaged by Contractor's operations shall be at Contractor's expense.
- Area for stockpiled items shall be located by Landscape Architect and approved by owner prior to removal operations.
- Contractor shall leave work site free of any debris at the end of each day's operations.

LAYOUT NOTES

- Do not scale drawings.
- Contractor shall verify all existing conditions and layout dimensions in the field. Report any discrepancies to the Landscape Architect for design prior to commencing construction.
- Stake or otherwise flag all design elements and features in the field. Obtain Landscape Architect's approval prior to commencing construction.
- All dimensions from structure are from face of finish of exterior wall unless otherwise stated.
- All angles are assumed to be 90 degrees unless otherwise stated.
- See planting plans for location of trees and shrubs, planting beds and extent of sodding and seeding.
- See architectural drawings for all building dimensions.
- Dimensions at curbs of pavement edging are given from outside face of curb to outside face of curb unless otherwise stated.
- Any changes proposed to dimensions shown on this drawing shall be approved by the Landscape Architect prior to construction.

GRADING NOTES

- Contractor shall verify all existing grades in the field and report any discrepancies immediately to the landscape architect.
- Stake proposed finish grade and cut/fills of existing grade in the field. Obtain Landscape Architect's approval prior to commencing construction.
- Slope away from all buildings.
- Provide vertical curves or roundings at abrupt changes in grade unless otherwise noted. Blend new earthwork smoothly into existing grades.
- Maintain existing grades at existing plant material to remain
- Grade surfaces to assure positive drainage from all structures and to prevent ponding of surface drainage.
- All fill material is subject to approval by Landscape Architect.
- Pitch evenly between spot grades. All paved areas must pitch to drain at a minimum of 1/8" per foot. Any discrepancies not allowing this to occur shall be reported to the Landscape Architect prior to continuing work.
- Once grading operations are completed, all disturbed areas within or outside of the limits of work shall be stabilized by fine grading and seeding or mulching as directed by the Landscape Architect.
- All erosion control measures are to be constructed to meet field conditions at the time of construction and prior to any grading or disturbance of existing material on balance of site.

PLANTING NOTES

- The Contractor shall supply all plant material in quantities sufficient to complete the planting shown on all drawings.
- Contractor shall verify all existing conditions in the field. Report any discrepancies to the Landscape Architect for design prior to commencing planting.
- All plant material shall conform to the guidelines established by "The American Standard for Nursery Stock" published by the American Nursery and Landscape Association, latest edition.
- All plants shall be balled and burlap unless otherwise noted on the plant list.
- All plants shall be approved by Landscape Architect prior to their installation at the site.
- Contractor shall stake all plant locations in the field. Obtain approval of Landscape Architect before starting plant installations.
- Plants to be transplanted shall be flagged and exact planting locations staked in the field.
- All areas disturbed by construction activities are to be fine graded and seeded.

CIVIL GENERAL NOTES

- The contractor shall be responsible for locating all utilities on site. The contractor shall be responsible for hiring an independent utility marking company to locate existing utilities on site. The cost for this shall be included under the lump sum bid.
- Existing utilities interfering with the work shall be relocated as directed in the field by the engineer, unless otherwise indicated or specified.
- Damage to any utility will be repaired by the contractor, at the contractor's expense, in a timely manner so that disruption of service to any utility will not be longer than practically necessary to repair the damage.
- The contractor shall be responsible for obtaining all state or local building permits that may be required. The arlington housing authority shall pay for all permits.

- The contractor shall provide the owner with a construction schedule delineating the sequence of work, traffic management plan and estimated time of completion of each segment of work, prior to the commencement of work.

- The contractor shall maintain continuous traffic flow during construction satisfactory to the engineer and the arlington housing authority. Access to all existing residences shall be maintained at all times during the course of construction by the contractor. The contractor shall maintain access to the parking lot during construction for all residents. Contractor shall provide proper notice to all residents when access and egress is impeded or obstructed. Contractor construction schedule shall include project phasing to ensure maintenance of access and sufficient of parking throughout the construction period.

- No equipment shall be allowed to be parked on the road when not in use. Materials shall not be stockpiled on the road or in parking areas. The contractor shall consult the arlington housing authority with respect to location of stockpiled materials.

- All construction signage shall conform to the requirements of the state of massachusetts department of transportation and the manual on uniform traffic control devices (mutcd).

- Building locations as shown on adjacent properties, are approximate and for reference purposes only.

- Sidewalks, walks and driveways that are damaged or removed during construction shall be replaced with the same type of material once the work is completed.

- The contractor shall be responsible for preventing any debris, sediment or silty water from entering any drainage system, etc. during all phases of construction. Controls may include hay bales, silt fence, silt sacks, crushed stone.

- All construction material, debris, asphalt, soil, etc. that is removed from the site shall be handled and disposed of in accordance with local, state, and federal regulations.

- During construction the contractor shall protect all trees and roots of trees to remain.

- The contractor shall maintain the existing site drainage patterns unless otherwise noted. All grading modifications shall direct drainage away from existing buildings and towards the appropriate areas. All grading modifications shall be gradual so as not to create any steep slopes, uneven areas, etc.

- During the course of construction, any damage to fences, guard rails, paths, stairs, and vegetation shall be repaired or replaced and restored to the original condition at no additional expense to the arlington housing authority.

- All castings, gate boxes, hydrants, light poles, etc. damaged during reconstruction shall be supplied and replaced by the contractor at no additional cost to the contract.

- The contractor shall be solely responsible for construction means, methods, techniques and procedures, and for safety precautions and programs in connection with all work included under this contract. The drawings do not include necessary components for construction safety. The contractor shall be solely responsible for providing and maintaining all safety barriers, warning flashers and the like, as required by the conduct of the work for the protection of workers and non-workers alike. The contractors attention is directed to osha requirements.

- The contractor shall be responsible for site restoration and clean up upon completion of the project.

CIVIL EXISTING CONDITION NOTES

- Plans and topographic information are prepared from a photogrammetric survey performed by GCG Associates, Inc., on September 20, 2021. areas obscured by tree cover were supplemented with ground survey. Caution should be made with the reliance of the reported rim elevations of drainage and sewer covers.

- Right-of-way and property lines were built from plans and deeds of record. Right-of-way and property lines are approximate only.

- All locations of subsurface utilities and structures were obtained from available town and utility records. The size, type and location of utilities shown are approximate. The contractor shall properly locate the utilities prior to the beginning construction. The contractor shall obtain utility information by contacting Dig Safe (811) a minimum of 72 hours prior to construction. The contractor shall excavate test pits to verify utility line locations as necessary.

- Wetland boundary within the Town of Lexington delineated by Norse Environmental Services, Inc. in January 25, 2022 and field located by GCG Associates, Inc. in January 2022.

- Wetland boundary within the Town of Arlington based on the Town of Arlington, Arlington Reservoir - Phase 2 plan, prepared by Kyle Zick Landscape Architecture, Inc. dated 02/04/2021.

SITE PREP AND DEMO LEGEND	
SYM.	DESCRIPTION
	REMOVE PINE LITTER
	REMOVE VEGETATION
	STRIP AND STOCKPILE TOPSOIL
	REMOVE ASPHALT PAVEMENT
	REMOVE CONCRETE PAVEMENT
	REMOVE AND DISPOSE OF STRUCTURE
	EROSION CONTROL
	TREE PROTECTION
	SAWCUT PAVING
	REMOVE FENCE
	REMOVE CURB; SALVAGE FOR REUSE
	LIGHT POLE TO REMAIN
	TREE TO REMAIN
	TREE TO REMOVE (6) NOTE: REMOVE STREET TREE AT 23 DRAKE RD UNITS A,C,E,G

LAYOUT LEGEND	
SYM.	DESCRIPTION
	LIMIT OF WORK
	CENTERLINE
	ALIGN

GRADING LEGEND	
SYM.	DESCRIPTION
	LIMIT OF WORK
	FLUSH
	EXISTING CONTOUR
	PROPOSED CONTOUR
	EXISTING SPOT GRADE
	PROPOSED SPOT GRADE
	GRADE BREAK

MATERIALS LEGEND				
KEY NOTE	SYM.	DESCRIPTION	DETAIL	SPEC
P-AP		ASPHALT PAVING	1/L500	321216
P-VA		VEHICULAR ASPHALT PAVING	2/L500	321216
P-CP		CONCRETE PAVING	3/L500	321313
P-EJ		EXPANSION JOINT	4/L500	321313
P-CJ		CONTROL JOINT	3/L500	321313
P-VC		VERTICAL GRANITE CURB	5/L500	321640
P-FC		FLUSH GRANITE CURB	7/L500	321640
P-TC		TRANSITION GRANITE CURB	6/L500	321640
P-DP		DETECTABLE WARNING PLATE	6/L502	---
P-CC1		ADA CURB RAMP 1	8/L500	---
P-CC2		ADA CURB RAMP 2	9/L500	---
P-CC3		ADA CURB RAMP 3	10/L500	---
P-SP		PAVEMENT STRIPING	---	321723
S-BR		BIKE RACKS (10)	1/L501	129300
S-BL		BOLLARDS (2)	5/L501	129300
S-LP1		CATENARY LIGHT POSTS DIRECT BURIAL (5)	6/L501	129300
S-LP2		CATENARY LIGHT POSTS SURFACE MOUNT (3)	7/L501	129300
S-HB		HOSE BIB (1)	5/L502	---
S-TR		TIMBER RAIL	2/L501	---
S-SN		SIGN	4/L501	101455
F-BN		BENCH (12)	1/L502	129300
F-MT		SET OF MOVABLE TABLE AND CHAIRS (3)	---	129300
F-PT		PICNIC TABLES (1)	3/L502	129300
F-PTA		ADA PICNIC TABLES (2)	2/L502	129300
S-GB		RAISED GARDEN BED (2)	4/L602	129300

ADD ALTERNATE LEGEND				
KEY NOTE	SYM.	DESCRIPTION	DETAIL	SPEC
AA P-RS		RUBBER PLAY SURFACING	3/L501	321816
AA FE1		ADULT FITNESS SIT-UP BENCH		129300
AA FE2		ADULT FITNESS TWIST AND FLEX		129300
AA FE3		ADULT FITNESS STRETCH STATION		129300

PLANTING LEGEND			
SYMBOL	DESCRIPTION	DETAIL	SPEC
	EXISTING TREE		
	PROPOSED TREE	1/L504	329300
	PROPOSED SHRUB	2/L504	329300
	PROPOSED PERENNIAL	4/L504	329300
	SEEDED LAWN	3/L504	329200

PROJECT: DHCD Project # 010103 Arlington Housing Authority		
Creative Place Making Grant Drake Village		
16-38 Drake Road Arlington, MA 02476		
Landscape Architecture		
Crowley Cottrell, LLC 171 Milk St, Fl 2 Boston, MA 02109		
617.338-8400 crowleycottrell.com		
Civil Engineering		
GCG ASSOCIATES, INC. WILMINGTON, MASSACHUSETTS (978) 657-9714		
No.	Date	
Revision		
STAMP:		
DATE: August 25, 2022		
PROJECT NUMBER: 2128		SCALE: N/A
DRAWING TITLE:		
NOTES AND LEGENDS		
L000-A		

SEE L000-A FOR NOTES

PROJECT:
DHCD Project # 010103
Arlington Housing Authority

**Creative Place Making Grant
Drake Village**

16-38 Drake Road
Arlington, MA 02476

Landscape Architecture

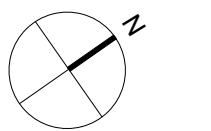


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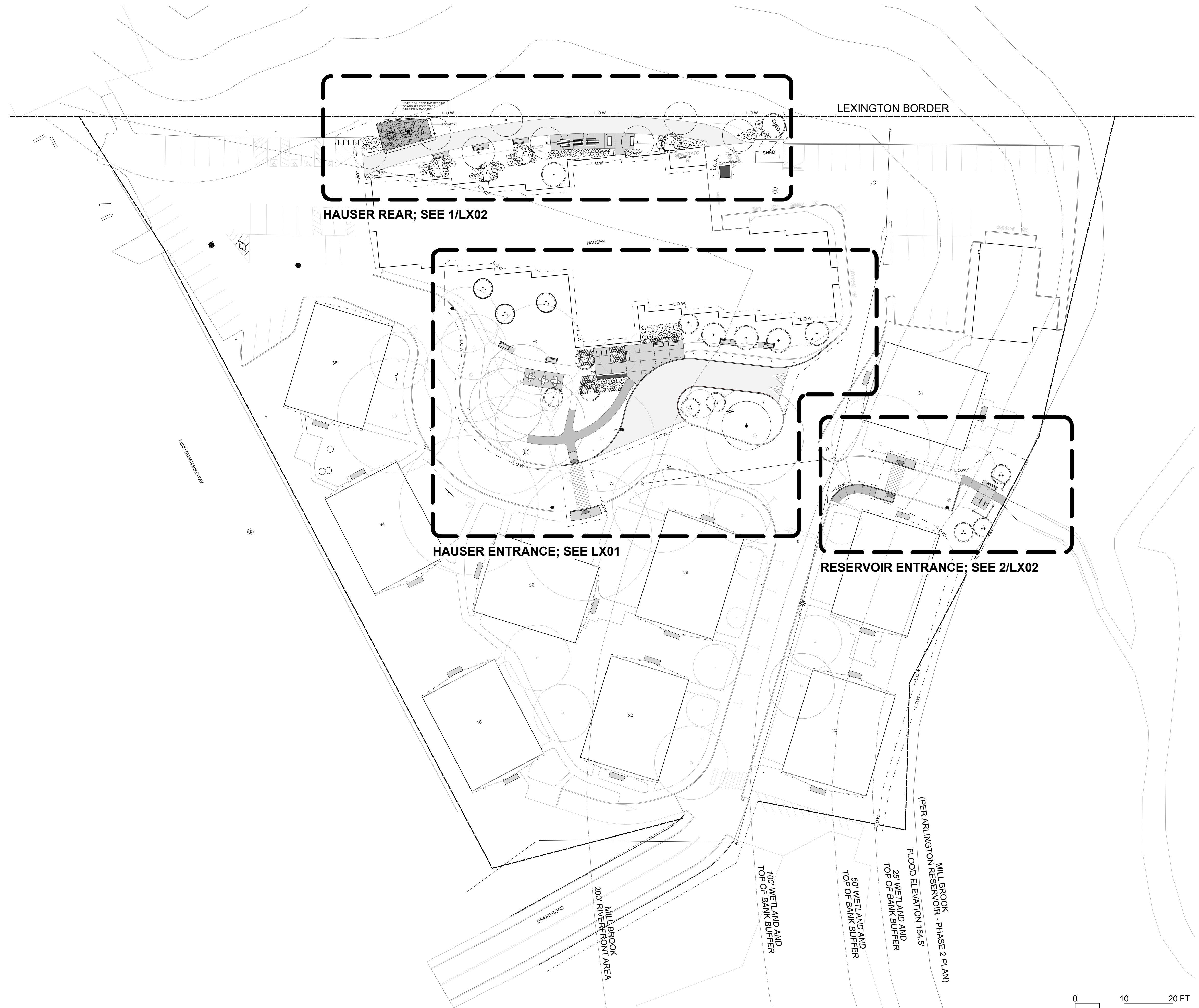
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PROJECT NUMBER:	SCALE:
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DRAWING TITLE:

KEY PLAN

L000-B

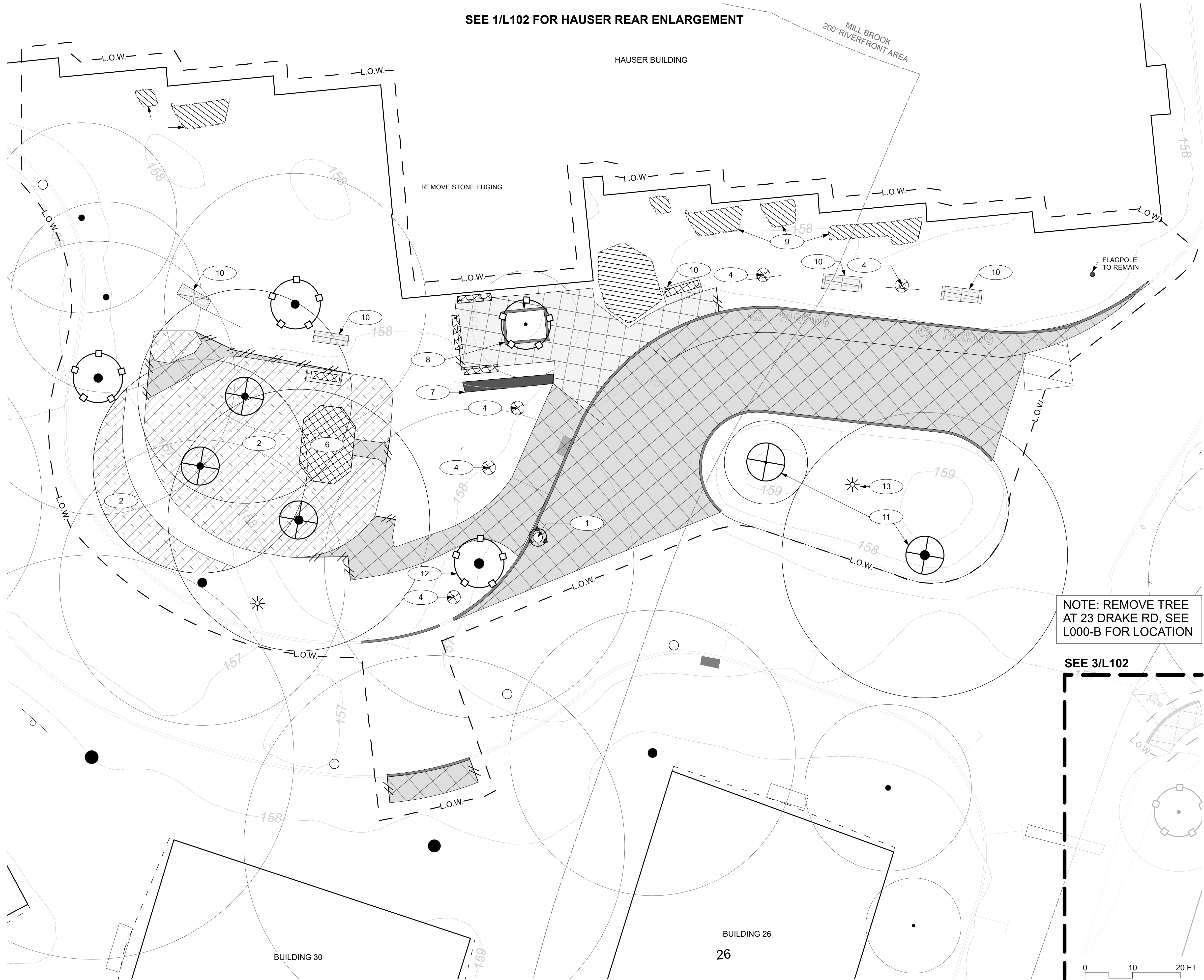


SITE PREP AND DEMO LEGEND	
SYM.	DESCRIPTION
	REMOVE PINE LITTER
	REMOVE VEGETATION
	STRIP AND STOCKPILE TOPSOIL
	REMOVE ASPHALT PAVEMENT
	REMOVE CONCRETE PAVEMENT
	REMOVE AND DISPOSE OF STRUCTURE
	EROSION CONTROL
	TREE PROTECTION
	SAWCUT PAVING
	REMOVE FENCE
	REMOVE CURB; SALVAGE FOR REUSE
	LIGHT POLE TO REMAIN
	TREE TO REMAIN
	TREE TO REMOVE (6) NOTE: REMOVE STREET TREE AT 23 DRAKE RD UNITS A,C,E,G

SEE L000 FOR GENERAL NOTES
AND DEMO NOTES

DEMOLITION NOTES

- | | |
|----|---|
| 1 | PROTECT DRAIN |
| 2 | REMOVE PINE NEEDLE LITTER COMPLETE,
AMEND SOIL AS NEEDED TO PREPARE
AREAS FOR LAWN. |
| 3 | REMOVE VEHICULAR BOLLARDS |
| 4 | SIGNS REMOVED BY OWNER; N.I.C. |
| 5 | REMOVE AND DISPOSE OF CHAINLINK FENCE |
| 6 | REMOVE AND DISPOSE OF GAZEBO |
| 7 | REMOVE STONE EDGE |
| 8 | RETAIN STONE WALL. PROTECT IN PLACE. |
| 9 | REMOVE PLANTING |
| 10 | REMOVE AND DISPOSE OF
CONCRETE PAD AND BENCH |
| 11 | REMOVE TREE, TYPICAL |
| 12 | PROTECT TREE, TYPICAL |
| 13 | LIGHT POLE TO REMAIN, TYPICAL |
| 14 | FENCE AND BOLLARDS TO REMAIN |



PROJECT:
DHCD Project # 010103
Arlington Housing Authority

Creative Place Making Grant
Drake Village

16-38 Drake Road
Arlington, MA 02476

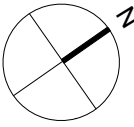
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No.	Date	
	Revision	



STAMP:

DATE:
August 25, 2022

PROJECT NUMBER:
2128

SCALE:
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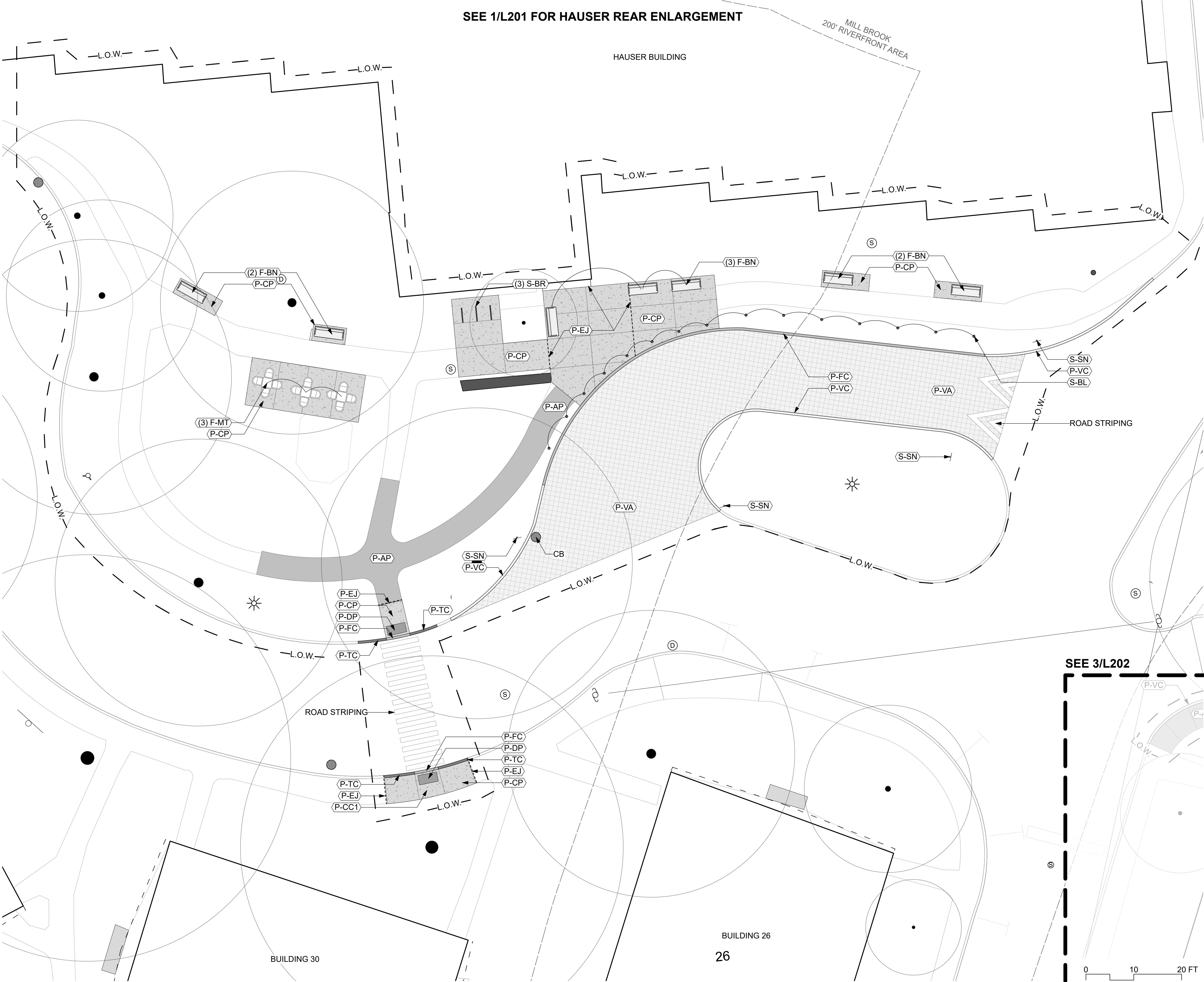
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HAUSER ENTRANCE
DEMOLITION PLAN
ENLARGEMENT

L101

MATERIALS LEGEND				
KEY NOTE	SYM.	DESCRIPTION	DETAIL	SPEC
P-AP		ASPHALT PAVING	1/L500	321216
P-VA		VEHICULAR ASPHALT PAVING	2/L500	321216
P-CP		CONCRETE PAVING	3/L500	321313
P-EJ		EXPANSION JOINT	4/L500	321313
P-CJ		CONTROL JOINT	3/L500	321313
P-VC		VERTICAL GRANITE CURB	5/L500	321640
P-FC		FLUSH GRANITE CURB	7/L500	321640
P-TC		TRANSITION GRANITE CURB	6/L500	321640
P-DP		DETECTABLE WARNING PLATE	6/L502	---
P-CC1		ADA CURB RAMP 1	8/L500	---
P-CC2		ADA CURB RAMP 2	9/L500	---
P-CC3		ADA CURB RAMP 3	10/L500	---
P-SP		PAVEMENT STRIPING	---	321723
S-BR		BIKE RACKS (10)	1/L501	129300
S-BL		BOLLARDS (2)	5/L501	129300
S-LP1		CATENARY LIGHT POSTS DIRECT BURIAL (5)	6/L501	129300
S-LP2		CATENARY LIGHT POSTS SURFACE MOUNT (3)	7/L501	129300
S-HB		HOSE BIB (1)	5/L502	---
S-TR		TIMBER RAIL	2/L501	---
S-SN		SIGN	4/L501	101455
F-BN		BENCH (12)	1/L502	129300
F-MT		SET OF MOVABLE TABLE AND CHAIRS (3)	---	129300
F-PT		PICNIC TABLES (1)	3/L502	129300
F-PTA		ADA PICNIC TABLES (2)	2/L502	129300
S-GB		RAISED GARDEN BED (2)	4/L602	129300

LAYOUT LEGEND	
SYM.	DESCRIPTION
	LIMIT OF WORK
	CENTERLINE
	ALIGN

SEE L000 FOR GENERAL NOTES AND LAYOUT NOTES



SEE 1/L201 FOR HAUSER REAR ENLARGEMENT

SEE 3/L202

PROJECT:
DHCD Project # 010103
Arlington Housing Authority

Creative Place Making Grant
Drake Village

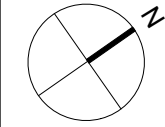
16-38 Drake Road
Arlington, MA 02476

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











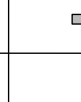





PROJECT NUMBER:
2128


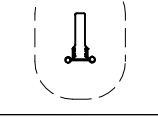
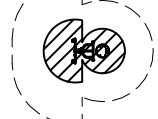
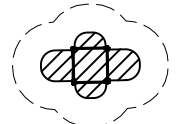
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
DRAWING TITLE:
HAUSER ENTRANCE
MATERIAL PLAN
ENLARGEMENT

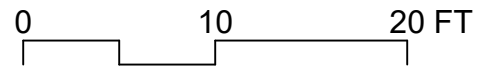
L201



MATERIALS LEGEND				
KEY NOTE	SYM.	DESCRIPTION	DETAIL	SPEC
P-AP		ASPHALT PAVING	1/L500	321216
P-VA		VEHICULAR ASPHALT PAVING	2/L500	321216
P-CP		CONCRETE PAVING	3/L500	321313
P-EJ		EXPANSION JOINT	4/L500	321313
P-CJ		CONTROL JOINT	3/L500	321313
P-VC		VERTICAL GRANITE CURB	5/L500	321640
P-FC		FLUSH GRANITE CURB	7/L500	321640
P-TC		TRANSITION GRANITE CURB	6/L500	321640
P-DP		DETECTABLE WARNING PLATE	6/L502	---
P-CC1		ADA CURB RAMP 1	8/L500	---
P-CC2		ADA CURB RAMP 2	9/L500	---
P-CC3		ADA CURB RAMP 3	10/L500	---
P-SP		PAVEMENT STRIPING	---	321723
S-BR		BIKE RACKS (10)	1/L501	129300
S-BL		BOLLARDS (2)	5/L501	129300
S-LP1		CATENARY LIGHT POSTS DIRECT BURIAL (5)	6/L501	129300
S-LP2		CATENARY LIGHT POSTS SURFACE MOUNT (3)	7/L501	129300
S-HB		HOSE BIB (1)	5/L502	---
S-TR		TIMBER RAIL	2/L501	---
S-SN		SIGN	4/L501	101455
F-BN		BENCH (12)	1/L502	129300
F-MT		SET OF MOVABLE TABLE AND CHAIRS (3)	---	129300
F-PT		PICNIC TABLES (1)	3/L502	129300
F-PTA		ADA PICNIC TABLES (2)	2/L502	129300
S-GB		RAISED GARDEN BED (2)	4/L602	129300

ADD ALTERNATE LEGEND				
KEY NOTE	SYM.	DESCRIPTION	DETAIL	SPEC
AA P-RS		RUBBER PLAY SURFACING	3/L501	321816
AA FE1		ADULT FITNESS SIT-UP BENCH		129300
AA FE2		ADULT FITNESS TWIST & FLEX		129300
AA FE3		ADULT FITNESS STRETCH STATION		129300

LAYOUT LEGEND	
SYM.	DESCRIPTION
	LIMIT OF WORK
	CENTERLINE
	ALIGN



PROJECT:
DHCD Project # 010103
Arlington Housing Authority
Creative Place Making Grant
Drake Village

16-38 Drake Road
Arlington, MA 02476

Landscape Architecture

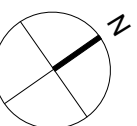

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Civil Engineering

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No.	Date	
Revision		



STAMP:

DATE: August 25, 2022

PROJECT NUMBER:	SCALE:
2128	1" = 10'-0"

DRAWING TITLE:

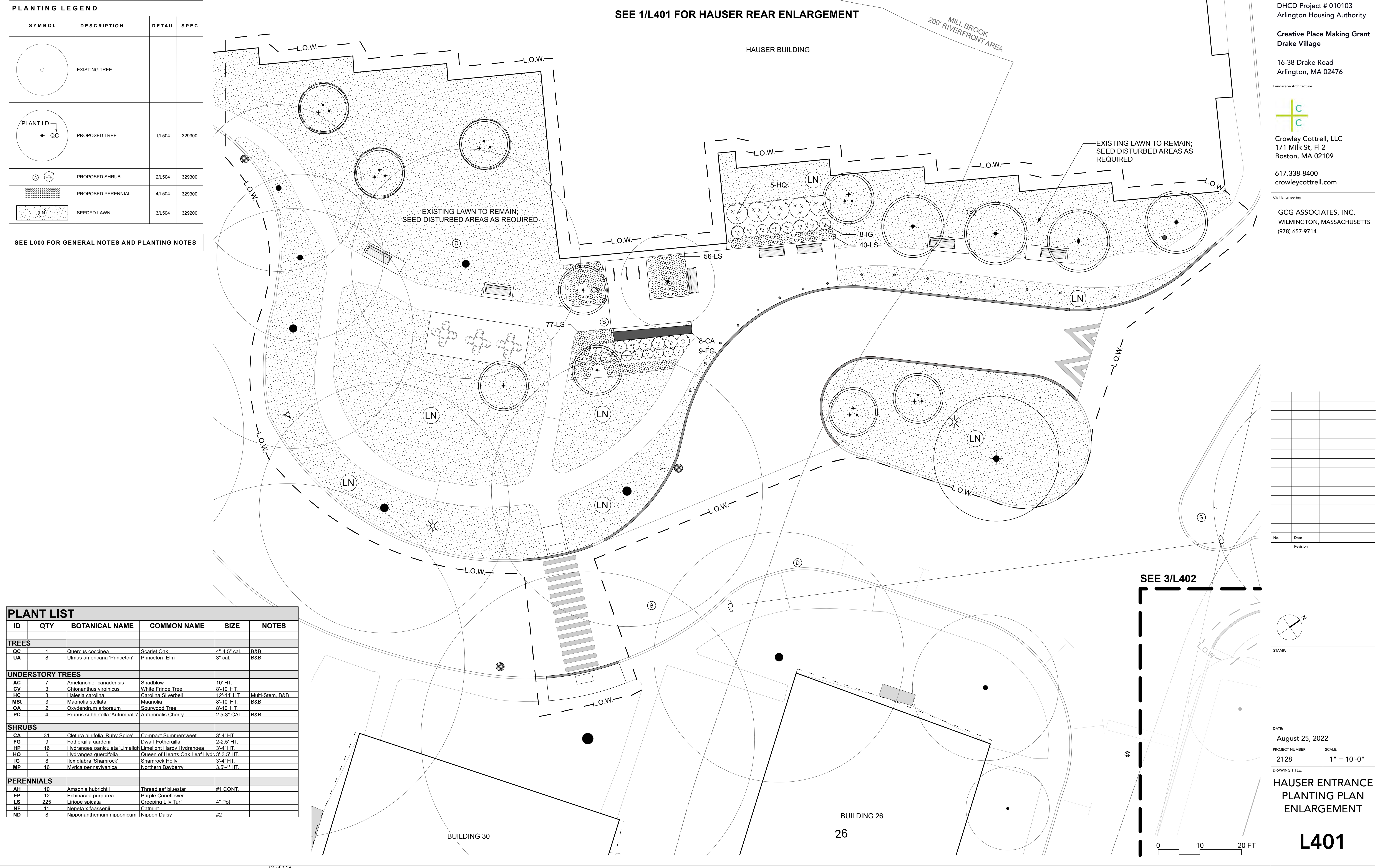
MATERIAL PLAN
ENLARGEMENTS

L202

PLANTING LEGEND			
SYMBOL	DESCRIPTION	DETAIL	SPEC
	EXISTING TREE		
	PROPOSED TREE	1/L504	329300
	PROPOSED SHRUB	2/L504	329300
	PROPOSED PERENNIAL	4/L504	329300
	SEEDED LAWN	3/L504	329200

SEE L000 FOR GENERAL NOTES AND PLANTING NOTES

PLANT LIST					
ID	QTY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
TREES					
QC	1	Quercus coccinea	Scarlet Oak	4"-4.5" cal	B&B
UA	8	Ulmus americana 'Princeton'	Princeton Elm	3" cal.	B&B
UNDERSTORY TREES					
AC	7	Amelanchier canadensis	Shadblow	10' HT.	
CV	3	Chionanthus virginicus	White Fringe Tree	8'-10' HT.	
HC	3	Halesia carolina	Carolina Silverbell	12'-14' HT.	Multi-Stem, B&B
MSI	3	Magnolia stellata	Magnolia	8'-10' HT.	B&B
OA	2	Oxydendrum arboreum	Sourwood Tree	8'-10' HT.	
PC	4	Prunus subhirtella 'Autumnalis'	Autumnalis Cherry	2.5-3" CAL.	B&B
SHRUBS					
CA	31	Clethra alnifolia 'Ruby Spice'	Compact Summersweet	3'-4' HT.	
FG	9	Fothergilla gardenii	Dwarf Fothergilla	2-2.5' HT.	
HP	16	Hydrangea paniculata 'Limelight'	Limelight Hardy Hydrangea	3'-4' HT.	
HQ	5	Hydrangea quercifolia	Queen of Hearts Oak Leaf Hydr.	3'-3.5' HT.	
IG	8	Ilex glabra 'Shamrock'	Shamrock Holly	3'-4' HT.	
MP	16	Myrica pennsylvanica	Northern Bayberry	3.5'-4' HT.	
PERENNIALS					
AH	10	Amsonia hubrichtii	Threadleaf bluestar	#1 CONT.	
EP	12	Echinacea purpurea	Purple Coneflower		
LS	225	Liriope spicata	Creeping Lily Turf	4" Pot	
NF	11	Nepeta x faassenii	Catmint		
ND	8	Nipponanthemum nipponicum	Nippon Daisy	#2	



PROJECT:
DHCD Project # 010103
Arlington Housing Authority

Creative Place Making Grant
Drake Village

16-38 Drake Road
Arlington, MA 02476

Landscape Architecture

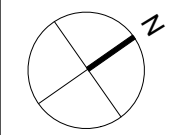
Crowley Cottrell, LLC
171 Milk St, Fl 2
Boston, MA 02109

617.338-8400
crowleycottrell.com

Civil Engineering

GCG ASSOCIATES, INC.
WILMINGTON, MASSACHUSETTS
(978) 657-9714

No.	Date	Revision



STAMP:

DATE:
August 25, 2022

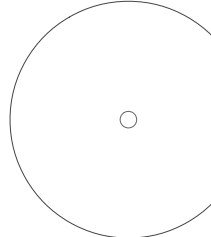
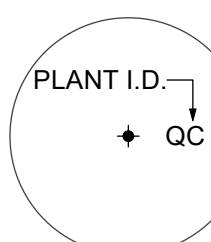


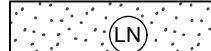
PROJECT NUMBER:
2128

SCALE:
1" = 10'-0"

DRAWING TITLE:
HAUSER ENTRANCE
PLANTING PLAN
ENLARGEMENT

L401



PLANTING LEGEND			
SYMBOL	DESCRIPTION	DETAIL	SPEC
	EXISTING TREE		
	PROPOSED TREE	1/L/504	329300
	PROPOSED SHRUB	2/L/504	329300
	PROPOSED PERENNIAL	4/L/504	329300
	SEEDED LAWN	3/L/504	329200

PLANT LIST					
ID	QTY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
TREES					
QC	1	Quercus coccinea	Scarlet Oak	4"-4.5" cal.	B&B
UA	8	Ulmus americana 'Princeton'	Princeton Elm	3" cal.	B&B
UNDERSTORY TREES					
AC	7	Amelanchier canadensis	Shadblow	10' HT.	
CV	3	Chionanthus virginicus	White Fringe Tree	8'-10' HT.	
HC	3	Halesia carolina	Carolina Silverbell	12'-14' HT.	Multi-Stem. B&B
MS†	3	Magnolia stellata	Magnolia	8'-10' HT.	B&B
OA	2	Oxydendrum arboreum	Sourwood Tree	8'-10' HT.	
PC	4	Prunus subhirtella 'Autumnalis'	Autumnalis Cherry	2.5-3" CAL.	B&B
SHRUBS					
CA	31	Clethra alnifolia 'Ruby Spice'	Compact Summersweet	3'-4' HT.	
FG	9	Fothergella gardenii	Dwarf Fothergella	2-2.5' HT.	
HP	16	Hydrangea paniculata 'Limelight'	Limelight Hardy Hydrangea	3'-4' HT.	
HO	5	Hydrangea quercifolia	Queen of Hearts Oak Leaf Hydrangea	3'-3.5' HT.	
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PERENNIALS					
AH	10	Amsonia hubrichtii	Threadleaf bluestar	#1 CONT.	
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LS	225	Liriope spicata	Creeping Lily Turf	4" Pot	
NF	11	Nepeta x fassenii	Catmint		
ND	8	Nipponanthemum nipponicum	Nippon Daisy	#2	

SEE L000-A FOR GENERAL NOTES AND PLANTING NOTES



Landscapes Architecture



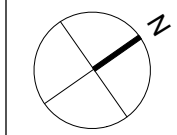
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No.	Date	
Revision		

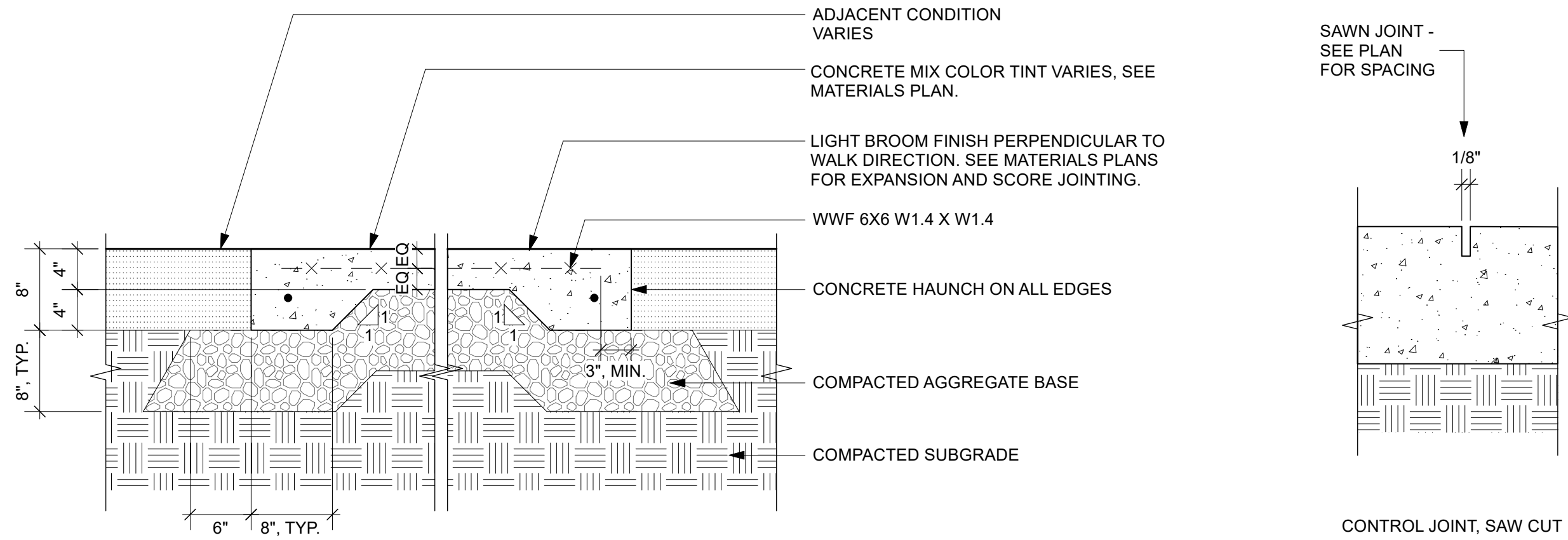
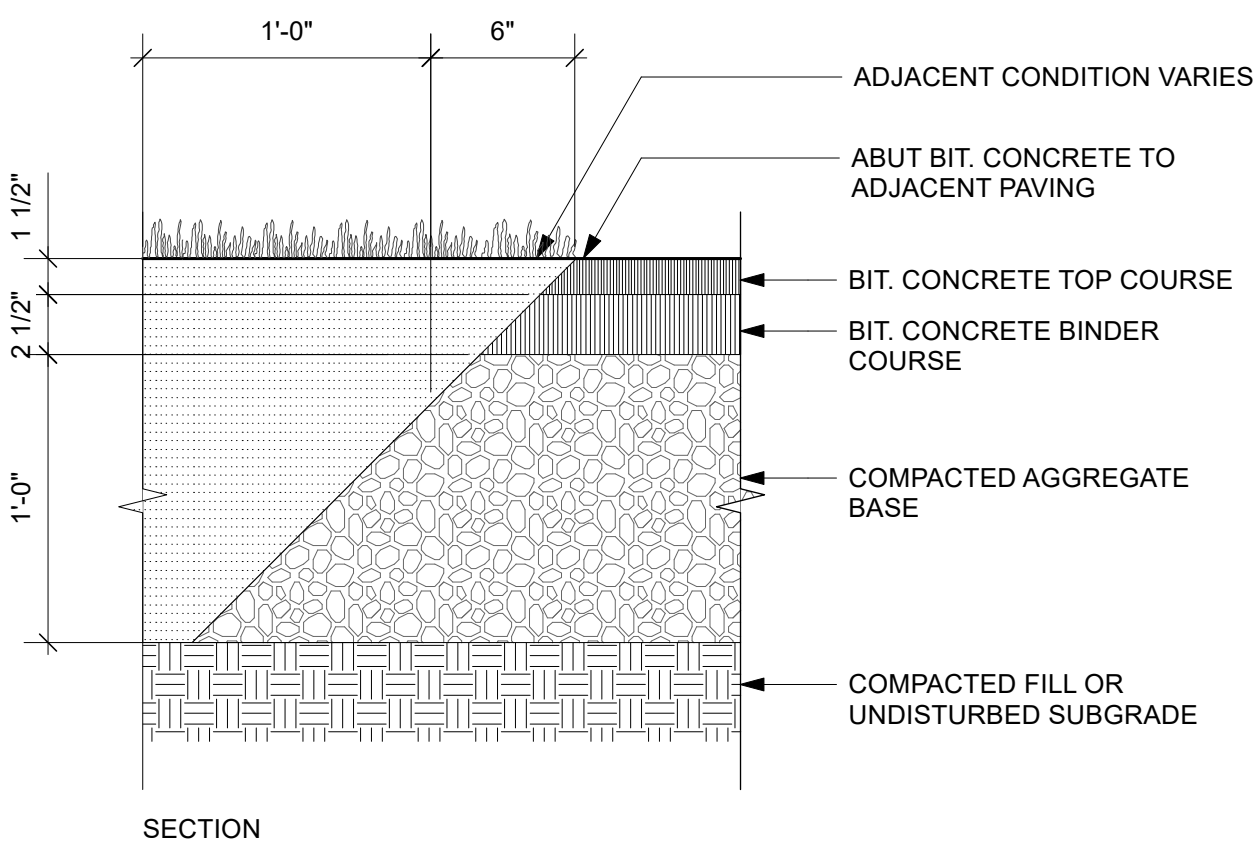
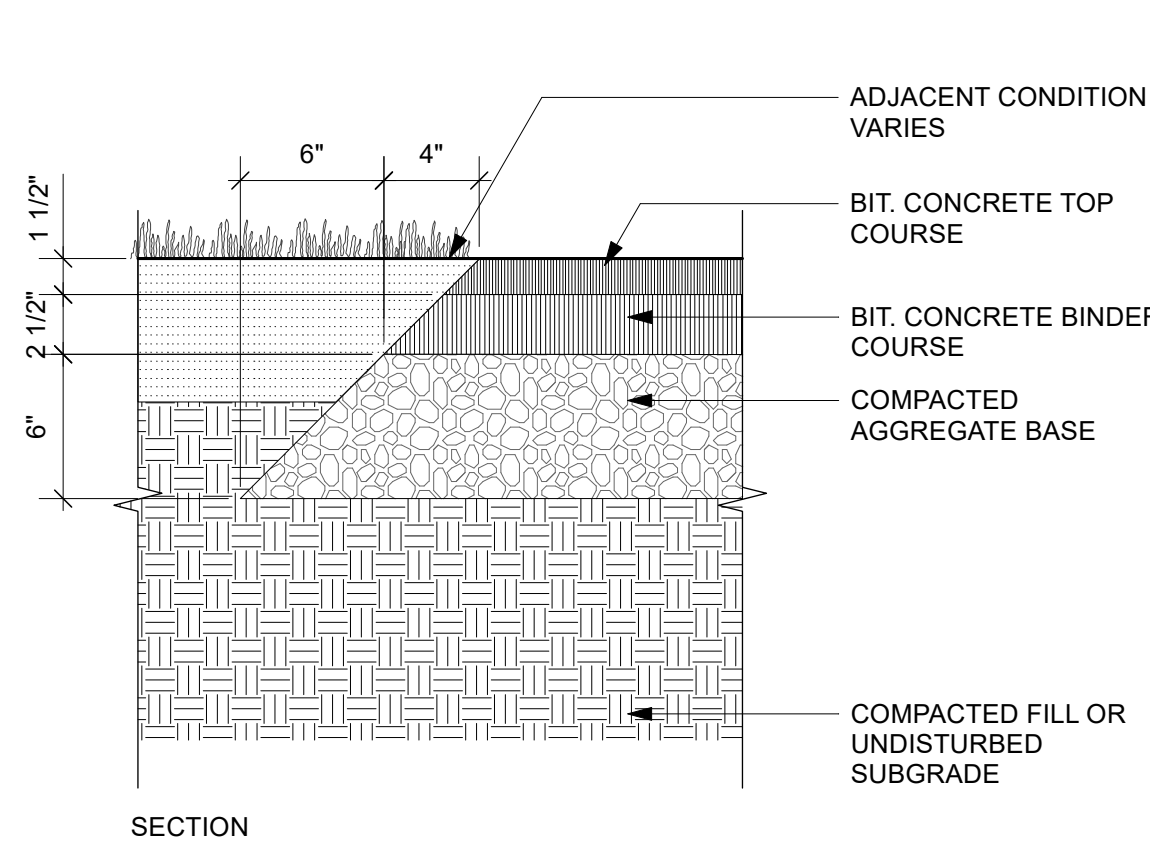


STAMP:

DATE: August 25, 2022	
PROJECT NUMBER: 2128	SCALE: 1" = 10'-0"

PLANTING PLAN ENLARGEMENTS

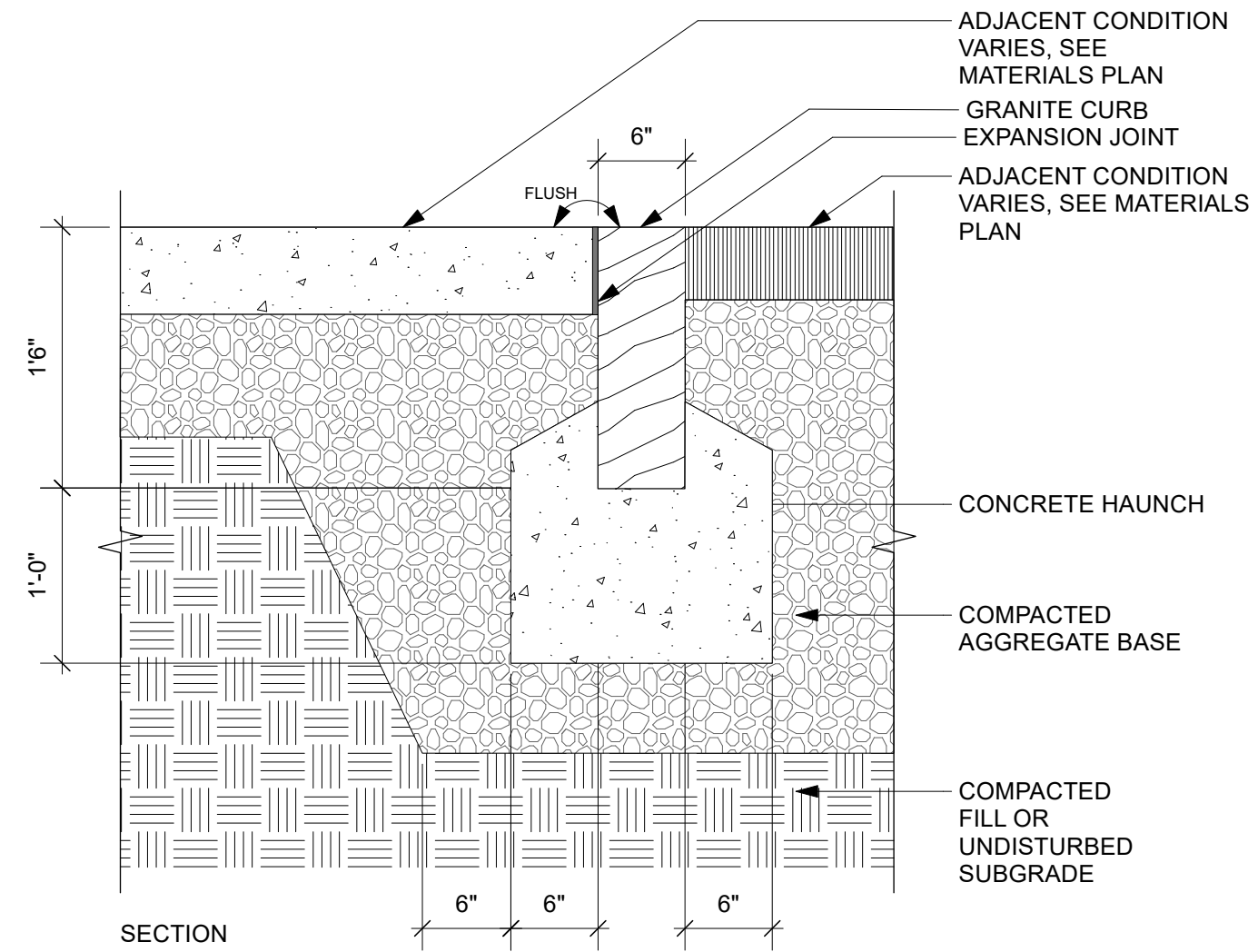
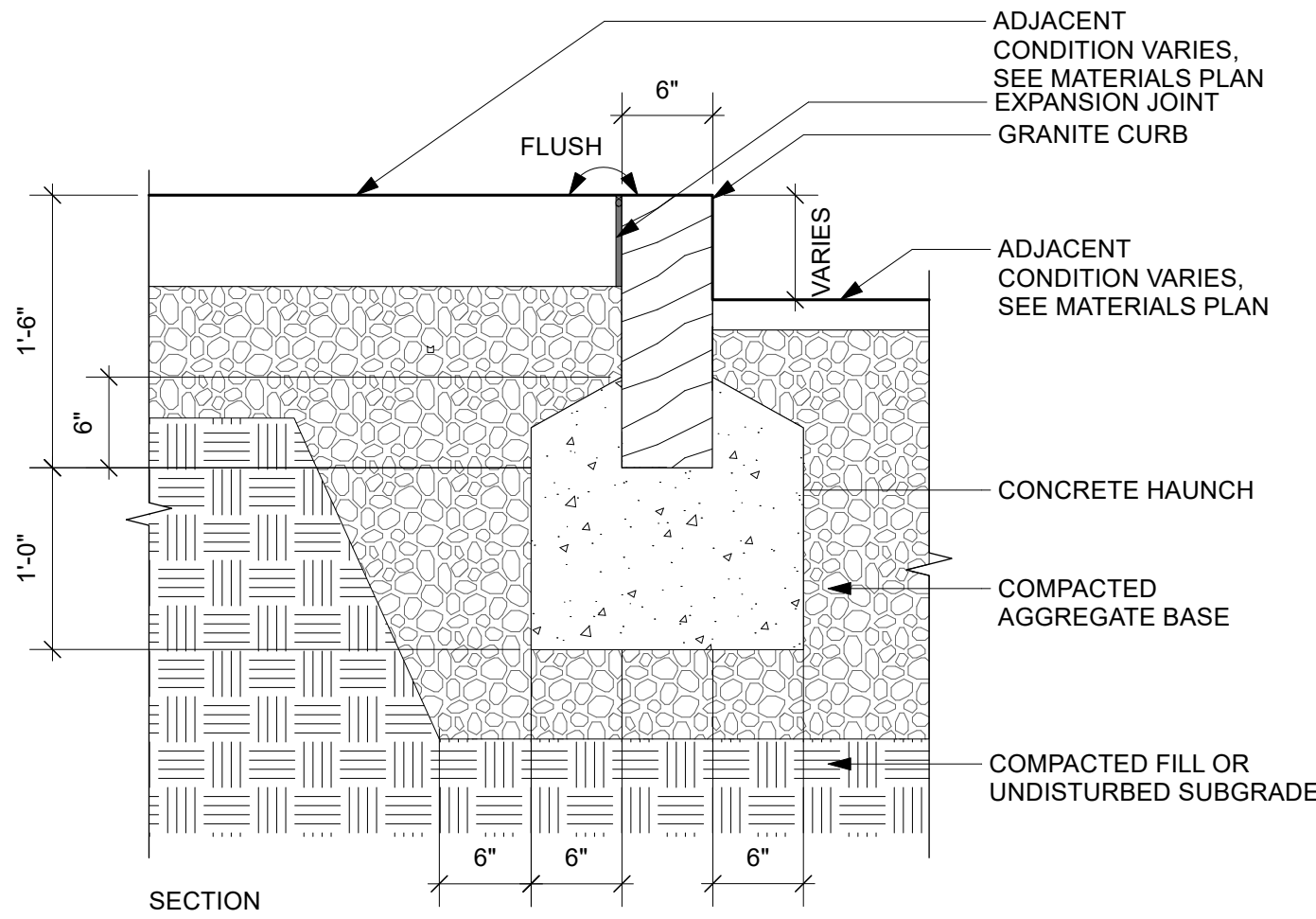
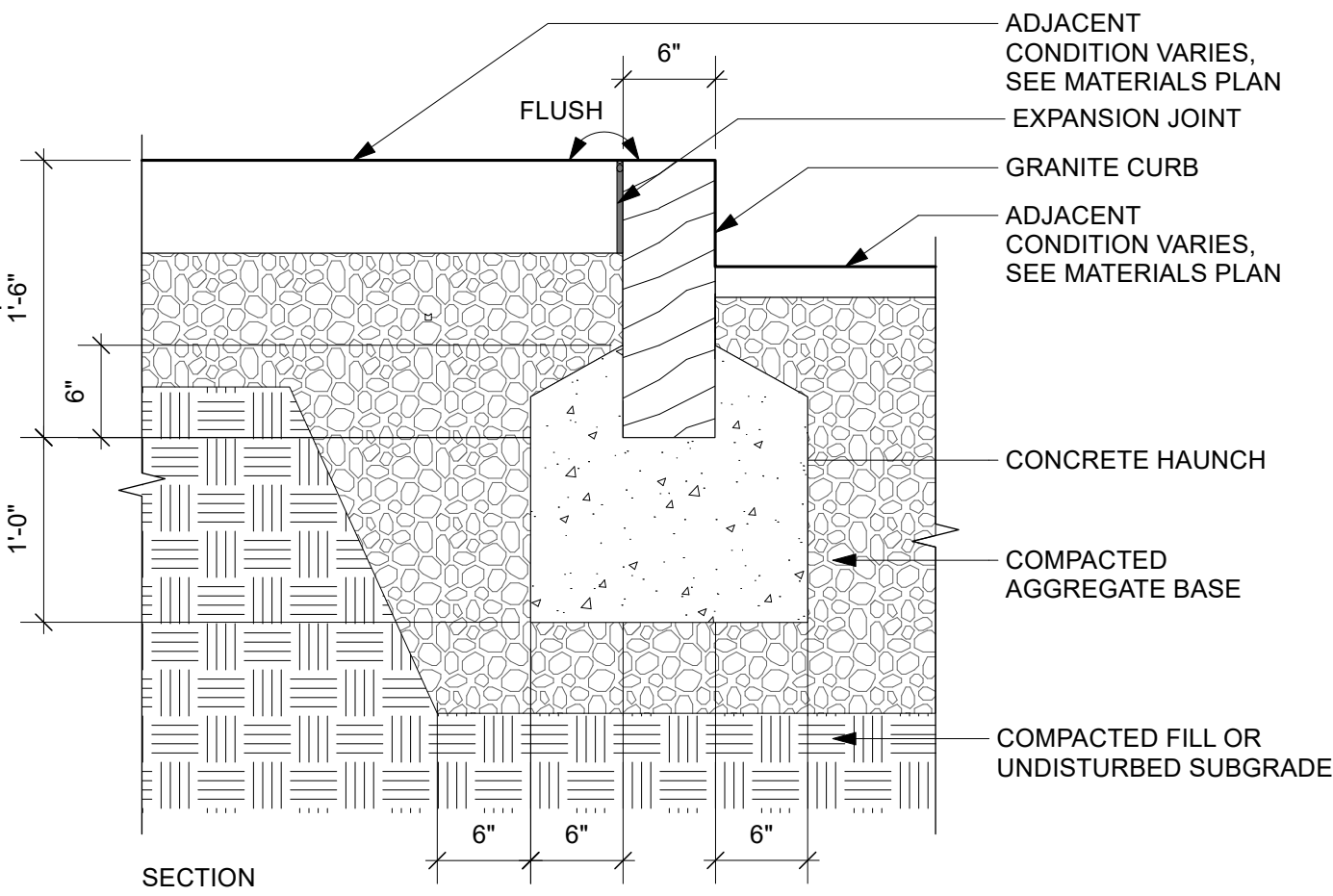
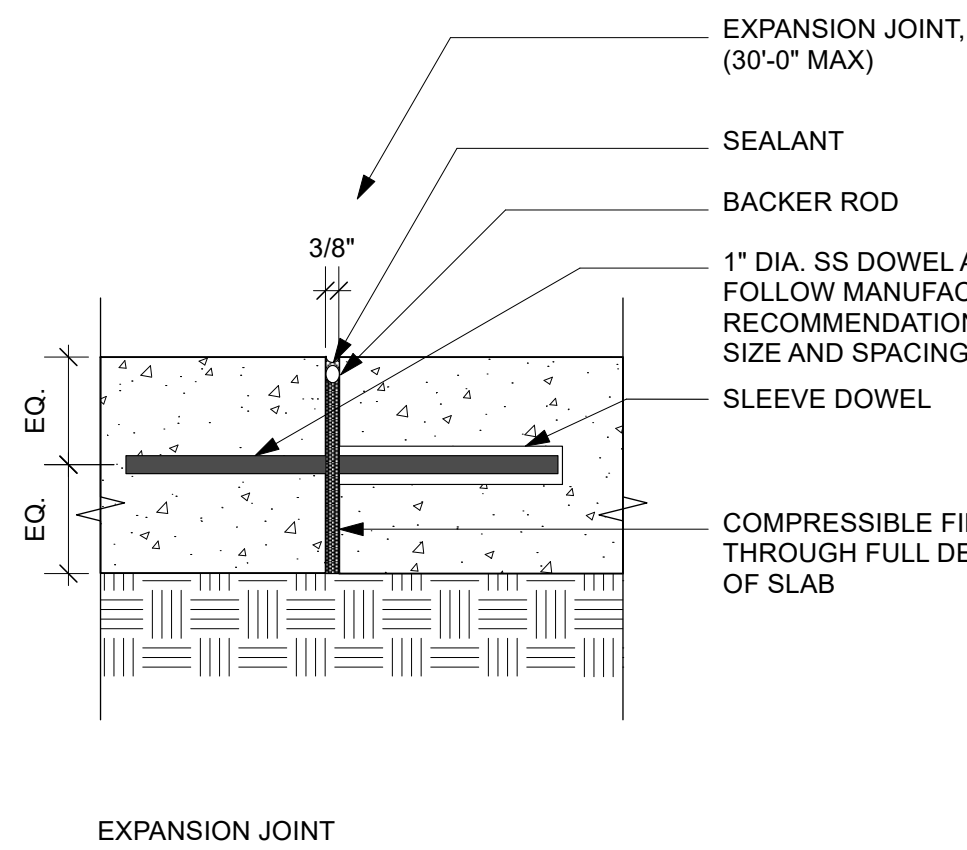
L402



1 P-AP ASPHALT PAVING
Scale: 1 1/2" = 1'-0"

2 P-VA ASPHALT PAVING VEHICULAR
Scale: 1 1/2" = 1'-0"

3 P-CP CONCRETE PAVING
Scale: 1" = 1'-0"



4 P-EJ EXPANSION JOINT
Scale: 1 1/2" = 1'-0"

5 P-VC VERTICAL GRANITE CURB
Scale: 1" = 1'-0"

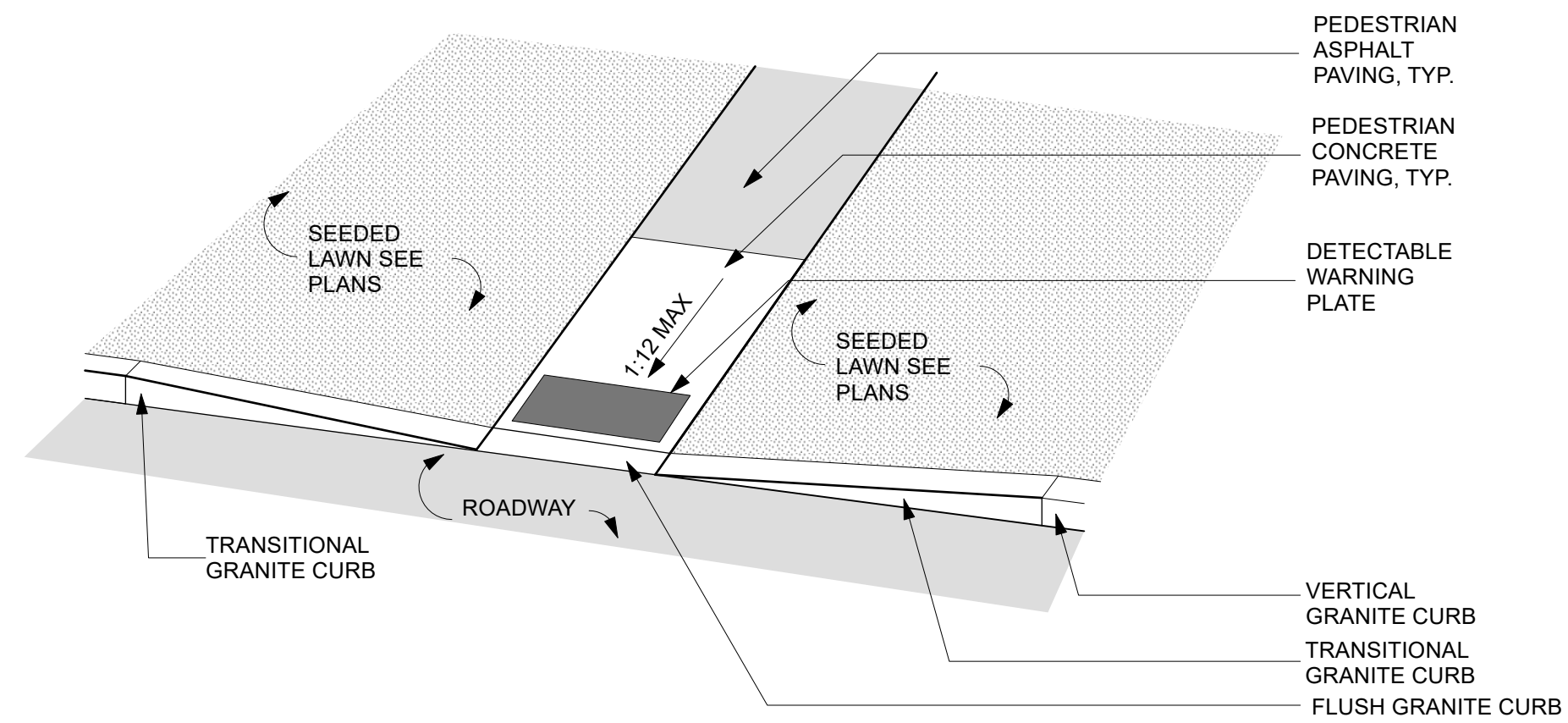
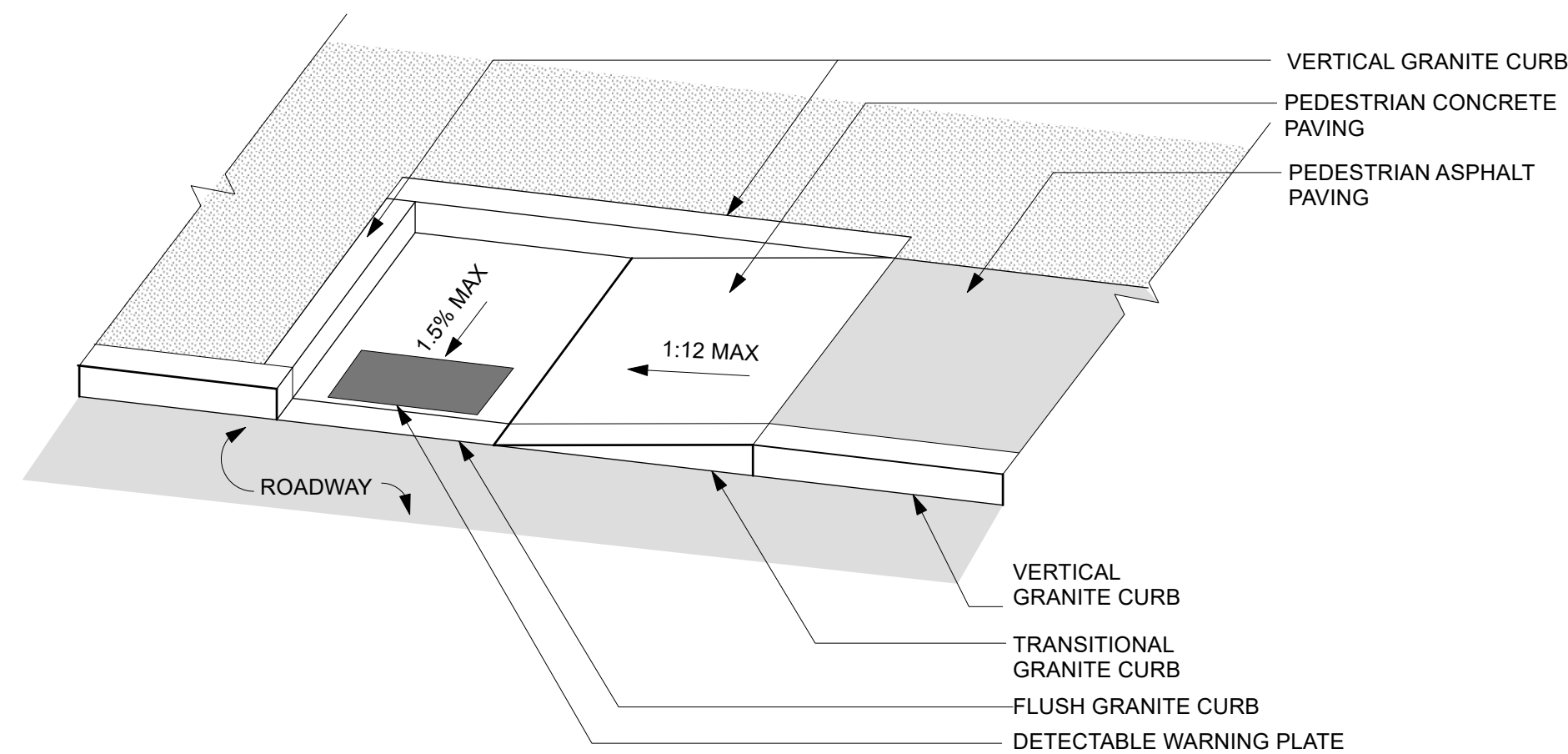
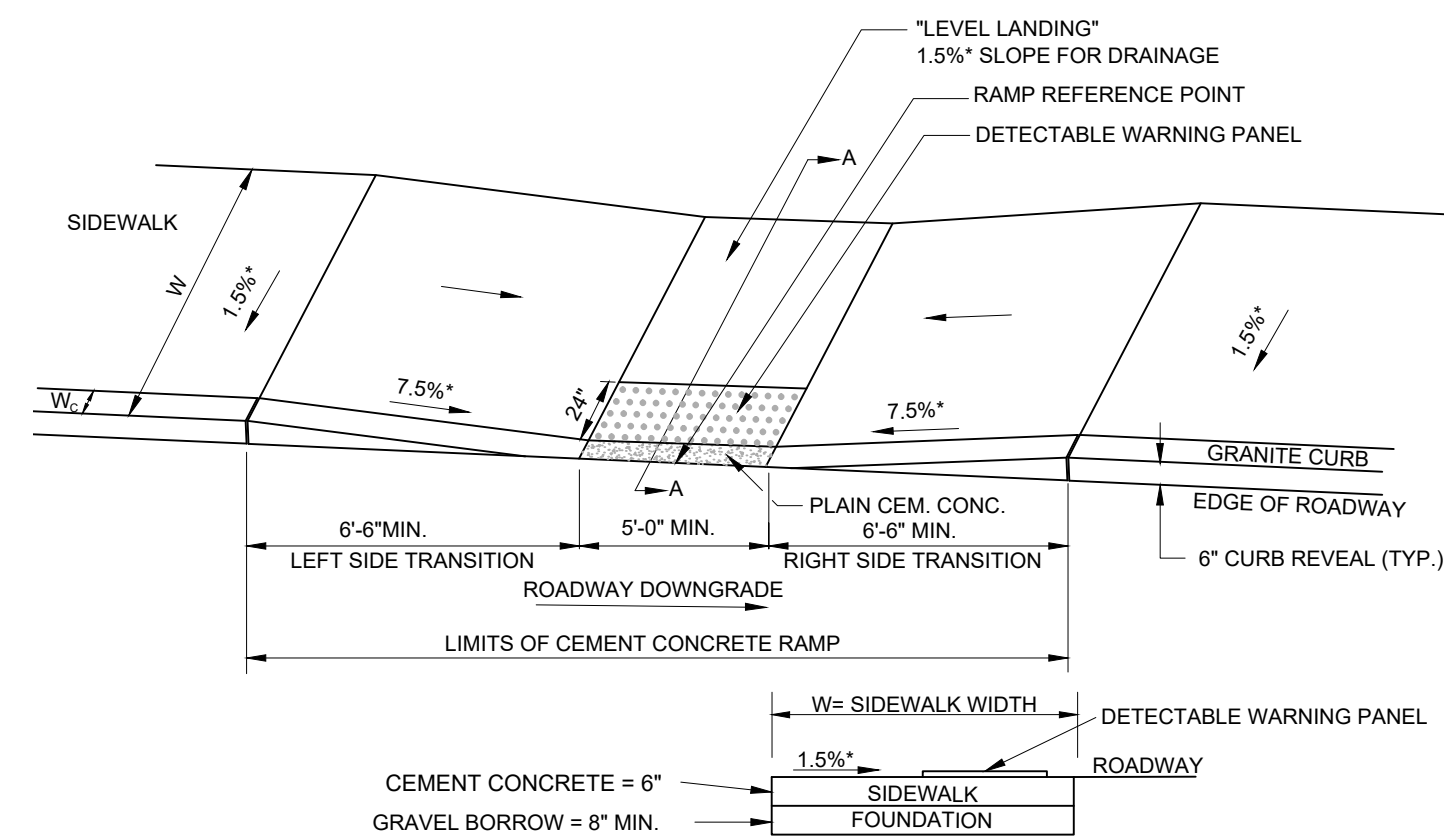
6 P-TC TRANSITIONAL GRANITE CURB
Scale: 1" = 1'-0"

7 P-FC FLUSH GRANITE CURB
Scale: 1" = 1'-0"

WHEELCHAIR RAMPS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE CURRENT REGULATIONS OF THE ARCHITECTURAL ACCESS BOARD, THE AMERICANS WITH DISABILITIES ACT AND THE CURRENT MASSHIGHWAY CONSTRUCTION STANDARDS.

- NOTES:
- 1) RAMPS CROSS-SECTION TO BE THE SAME AS ADJACENT SIDEWALK; I.E. DEPTH OF SURFACE AND FOUNDATION
 - 2) DIMENSIONS ARE SUBJECT TO CHANGE IN FIELD. ALL SLOPES AND DIMENSIONS TO COMPLY WITH A.D.A. AND MAAB REQUIREMENTS
 - 3) FOR CONCRETE RAMPS PROVIDE EXPANSION JOINT AT TOPS OF RAMPS AND AT BACK OF WALK AT INTERFACE WITH CURB.
 - 4) FOR CURB MATERIAL AND PAVEMENT MATERIAL, SEE LAYOUT AND MATERIALS PLAN.
 - 5) FOR CONCRETE RAMPS PROVIDE HEAVY BROOM FINISH ON RAMP AND SIDE SLOPES PERPENDICULAR TO FLOW OF TRAFFIC

- NOTES:
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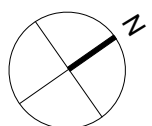


8 S-CC1 ADA CURB RAMP
NOT TO SCALE

9 S-CC2 ADA CURB RAMP 2
NOT TO SCALE

10 S-CC3 ADA CURB RAMP 3
Scale: Actual Size

No.	Date	Revision
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STAMP:

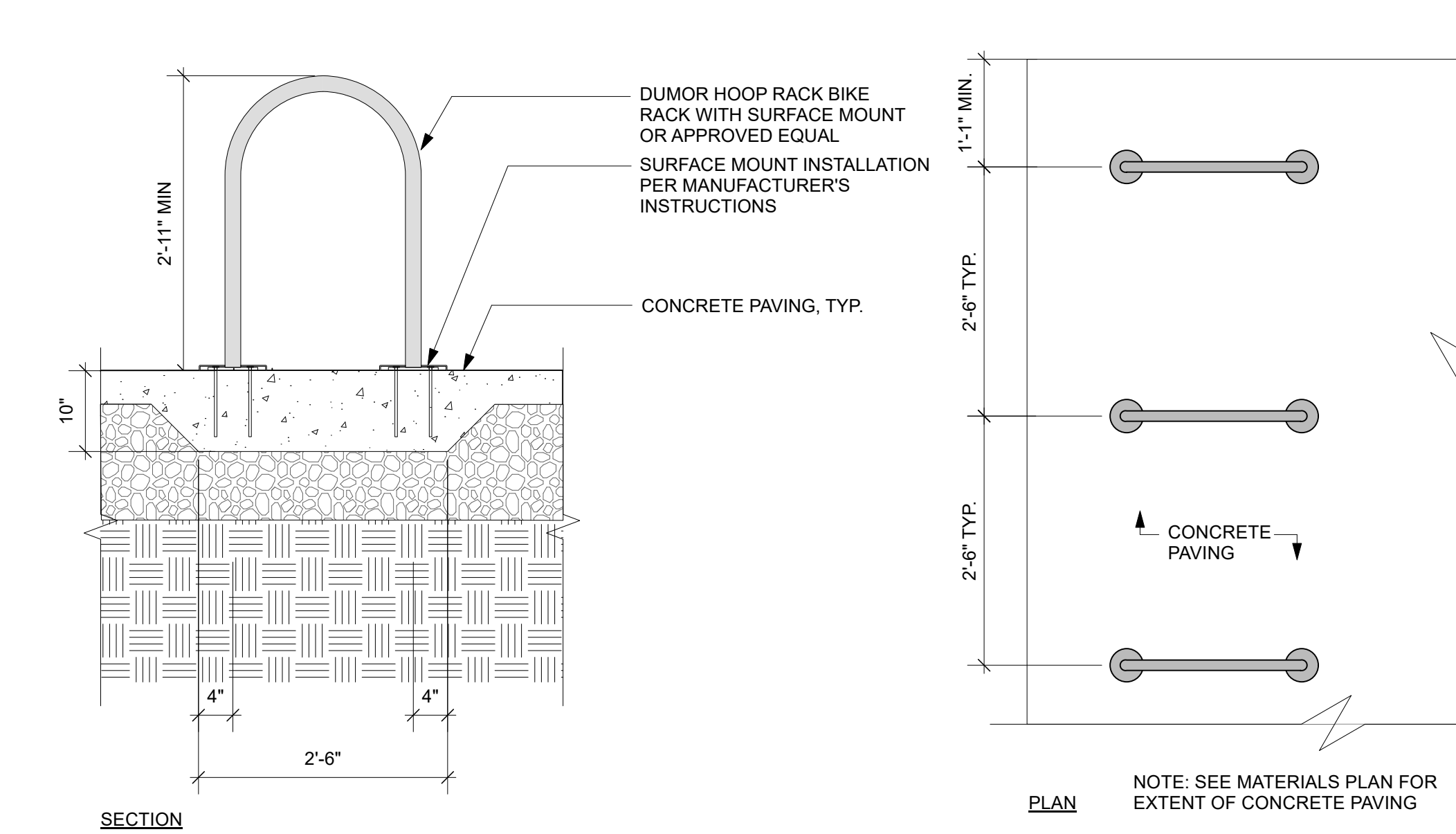
DATE:
August 25, 2022

PROJECT NUMBER:
2128

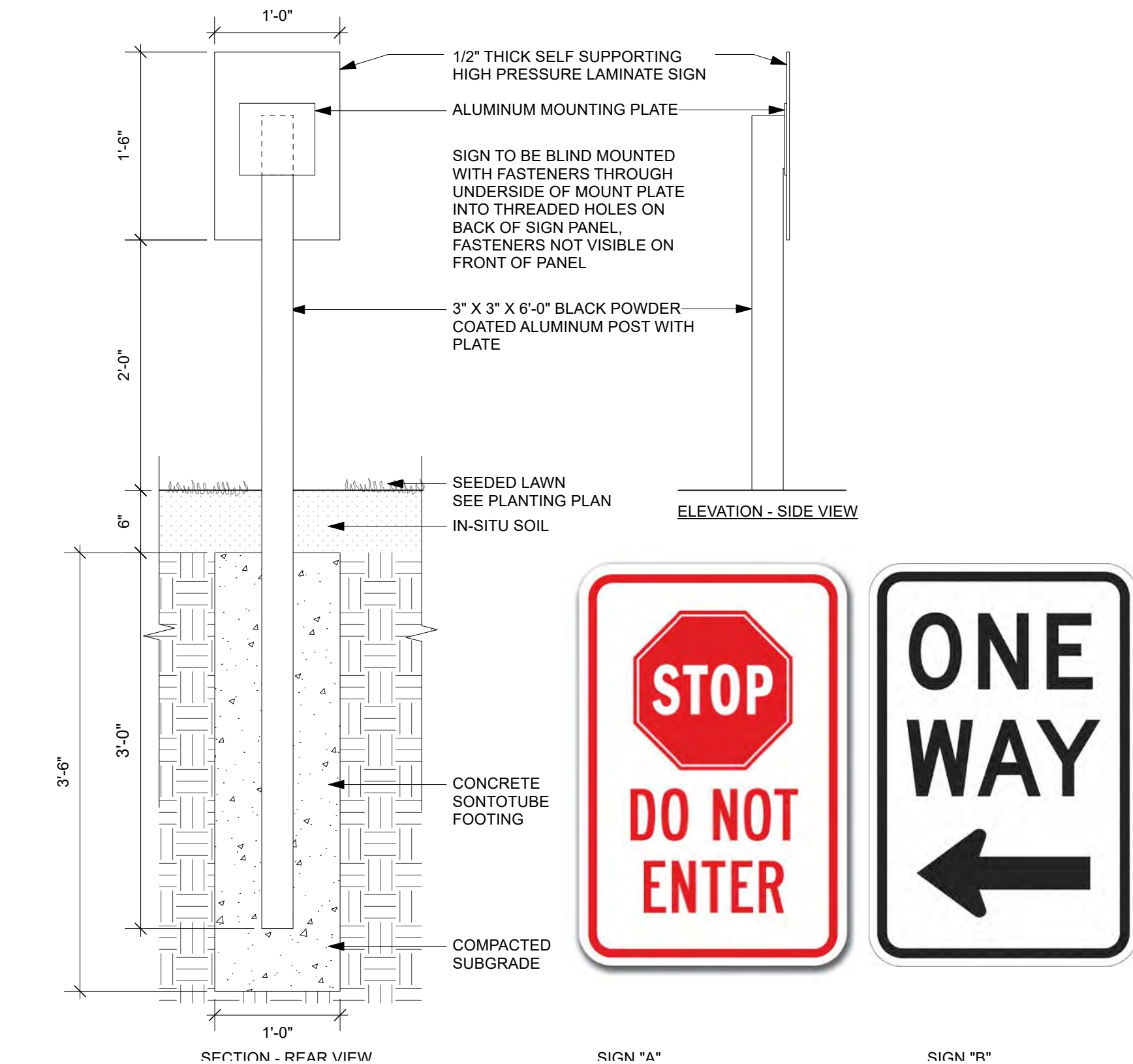
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AS SHOWN

DRAWING TITLE:
DETAILS

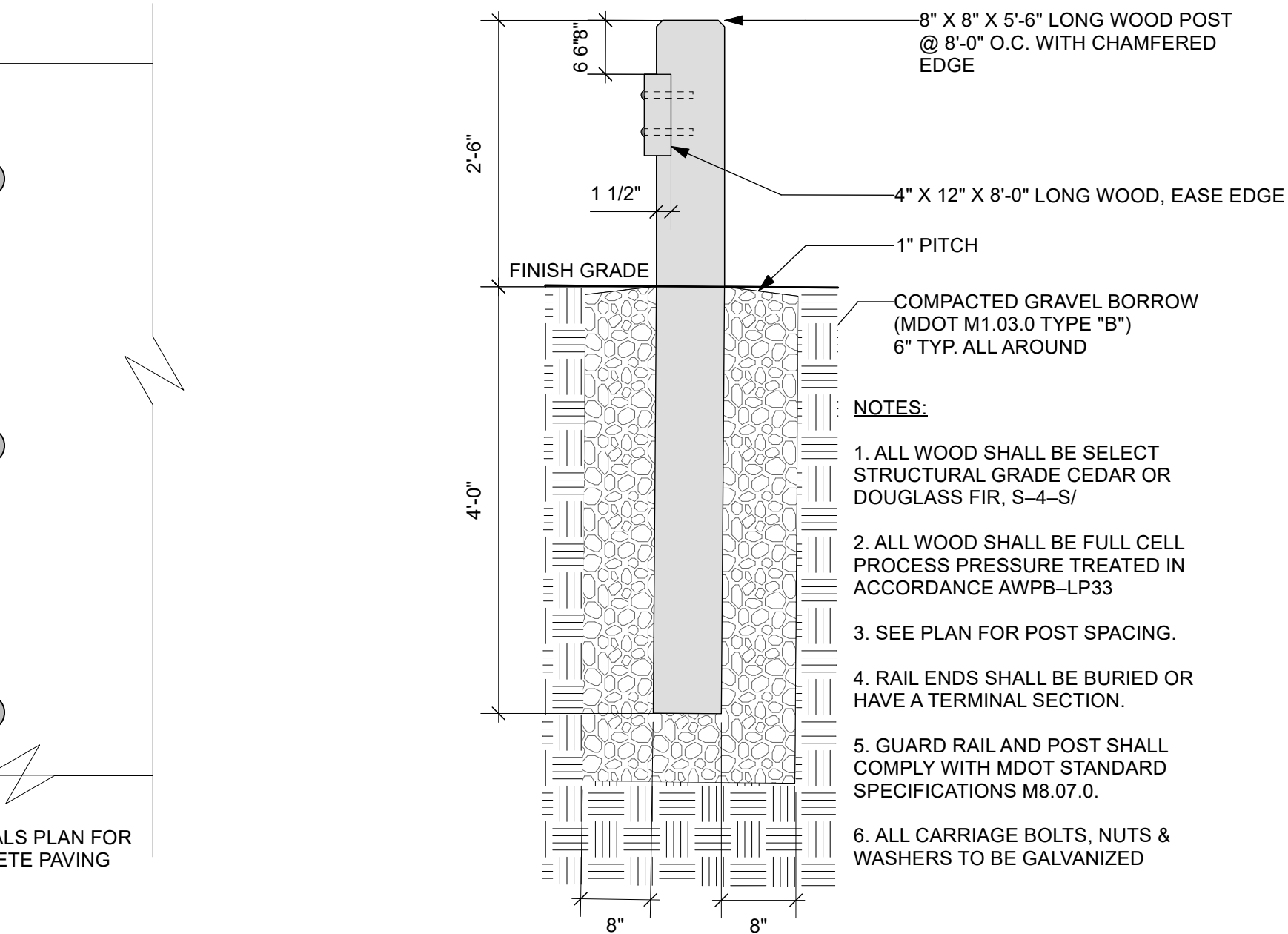
L500



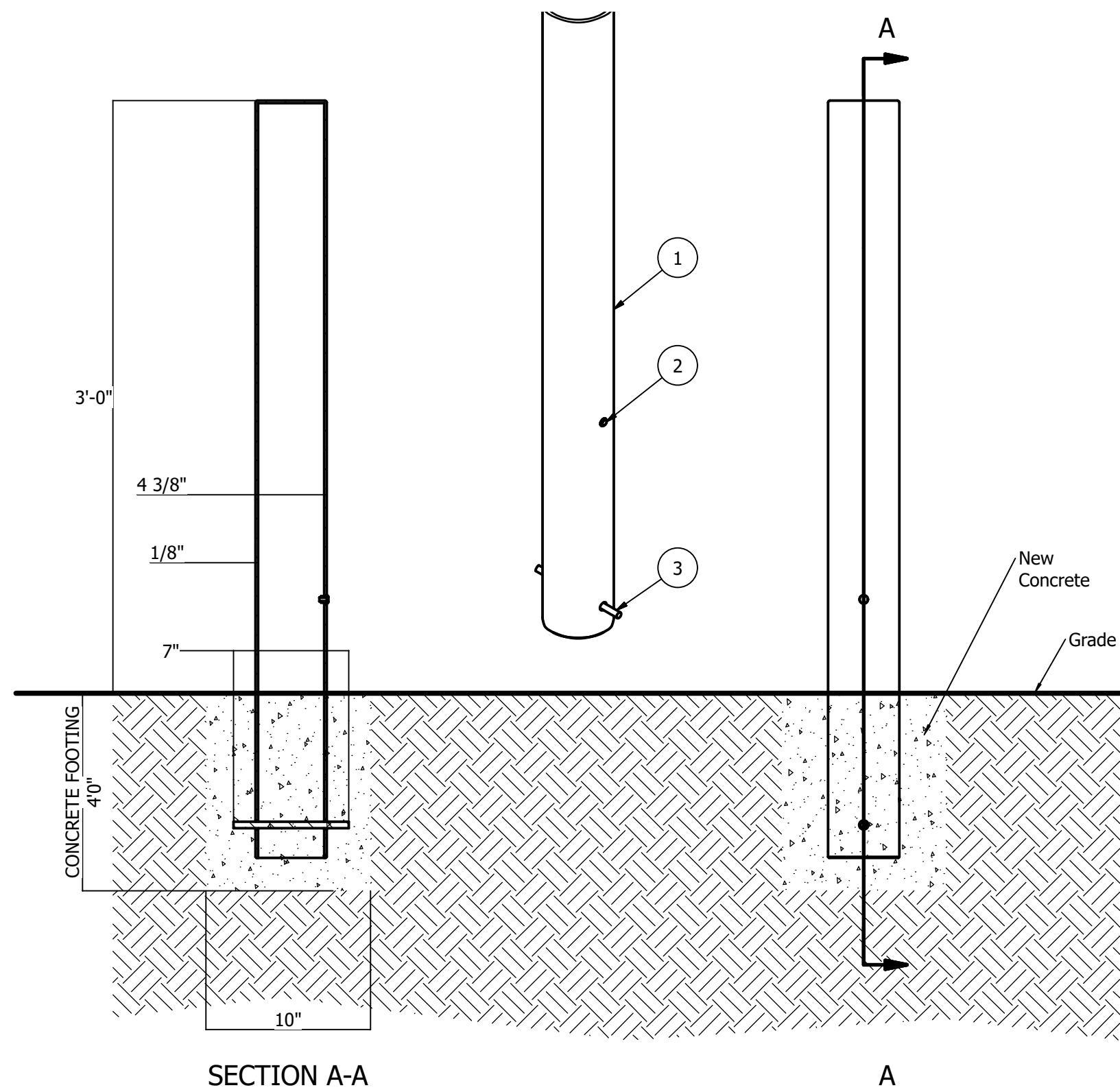
1 S-BR BIKE RACK
Scale: 3/4" = 1'-0"



4 S-SN SIGNS
Scale: 1" = 1'-0"



2 S-TR TIMBER RAIL
Scale: 3/4" = 1'-0"

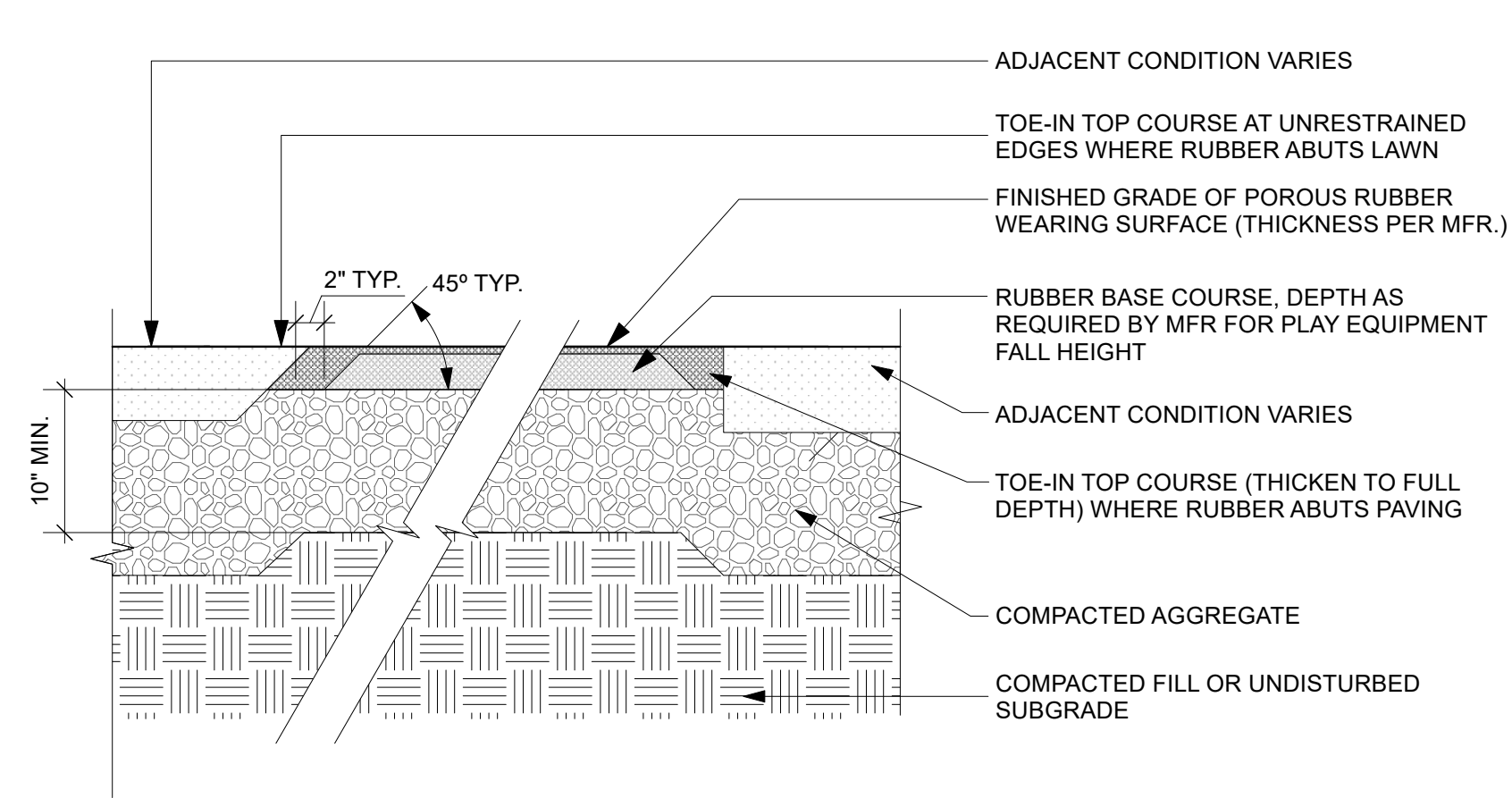


- Embedment details are for reference illustration only.
- Minimum foundation sizes depend on local soil conditions, weather conditions, and engineering requirements.
- Bollard post is provided as shown, with material detailed in legend below.
- Concrete, foundation and/or installation ordered separately or provided by others.
- This drawing is not drawn to scale. Dimensions provided herein is for reference only.
- Please consult Reliance Foundry sales professionals if any dimension is critical to your particular installation.
- Reliance Foundry reserves the right to amend design and specifications without prior notice for product improvement.

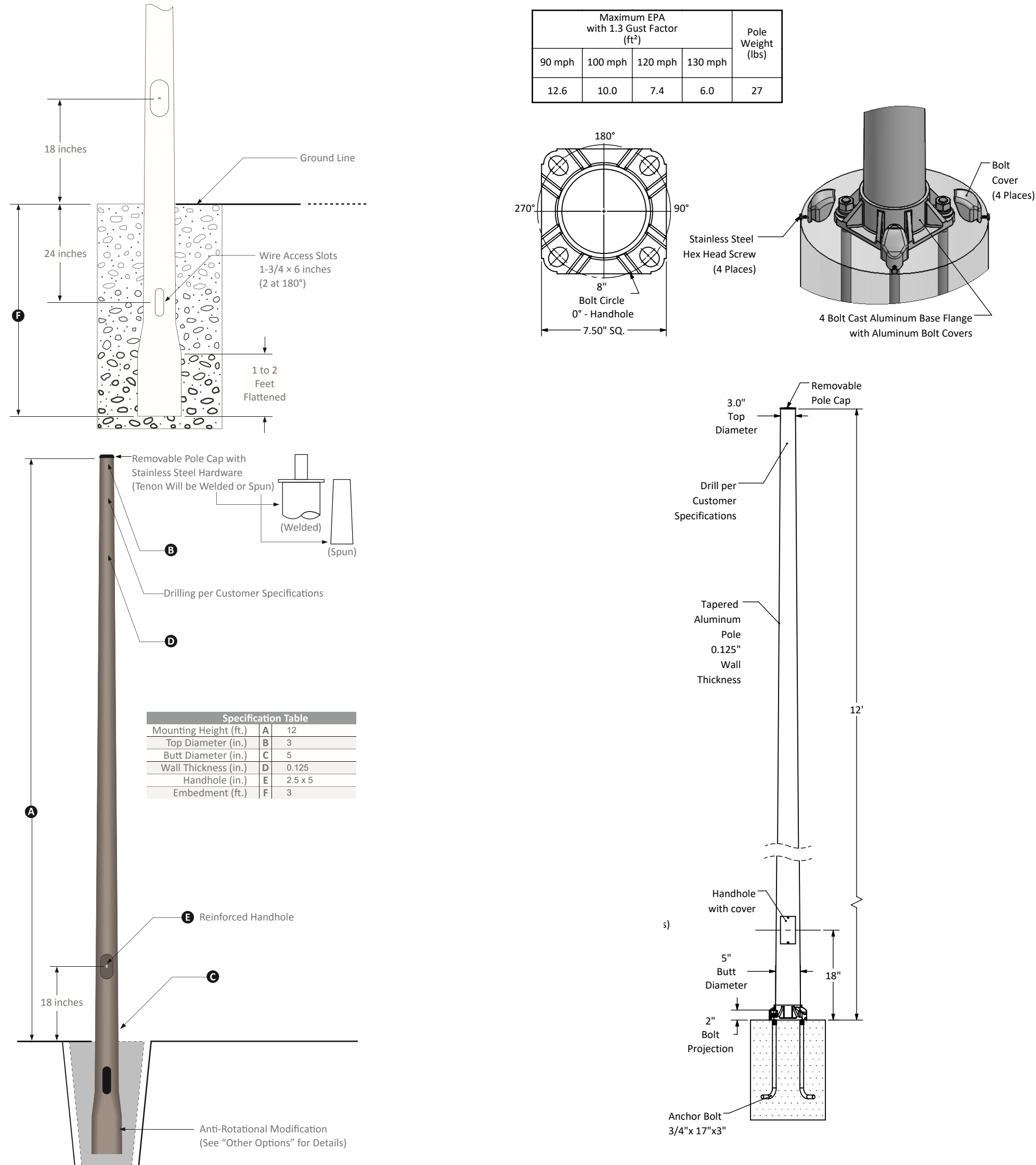
PARTS LIST					
ITEM	QTY	PART NUMBER	DESCRIPTION	MATERIAL	WEIGHT
1	1	R7907 Fixed Bollard	R7907 Fixed Bollard Body	Steel Powder Coated	32 lbs
2	1	Polyethylene Plug 1/2"	Polyethylene Plug 1/2"	Polyethylene Plastic	
3	1	Steel Rebar	Steel Rebar 10 mm x 7"	Steel Epoxy Coated	3/8 lbs

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5 S-BL BOLLARD
NOT TO SCALE



3 P-RS RUBBER SURFACING
Scale: 1" = 1'-0"



6 S-LP1 LIGHT POLE DIRECT BURIAL
NOT TO SCALE

7 S-LP2 LIGHT POLE SURFACE MOUNT
NOT TO SCALE

PROJECT:
DHCD Project # 010103
Arlington Housing Authority

Creative Place Making Grant
Drake Village

16-38 Drake Road
Arlington, MA 02476

Landscape Architecture



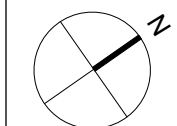
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(978) 657-9714

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STAMP:

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August 25, 2022

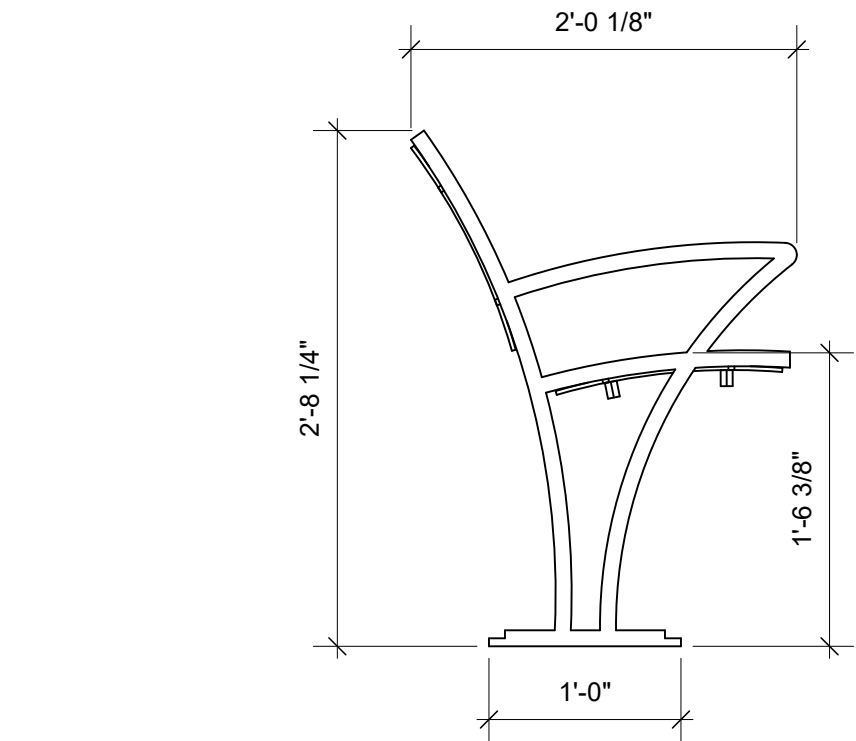
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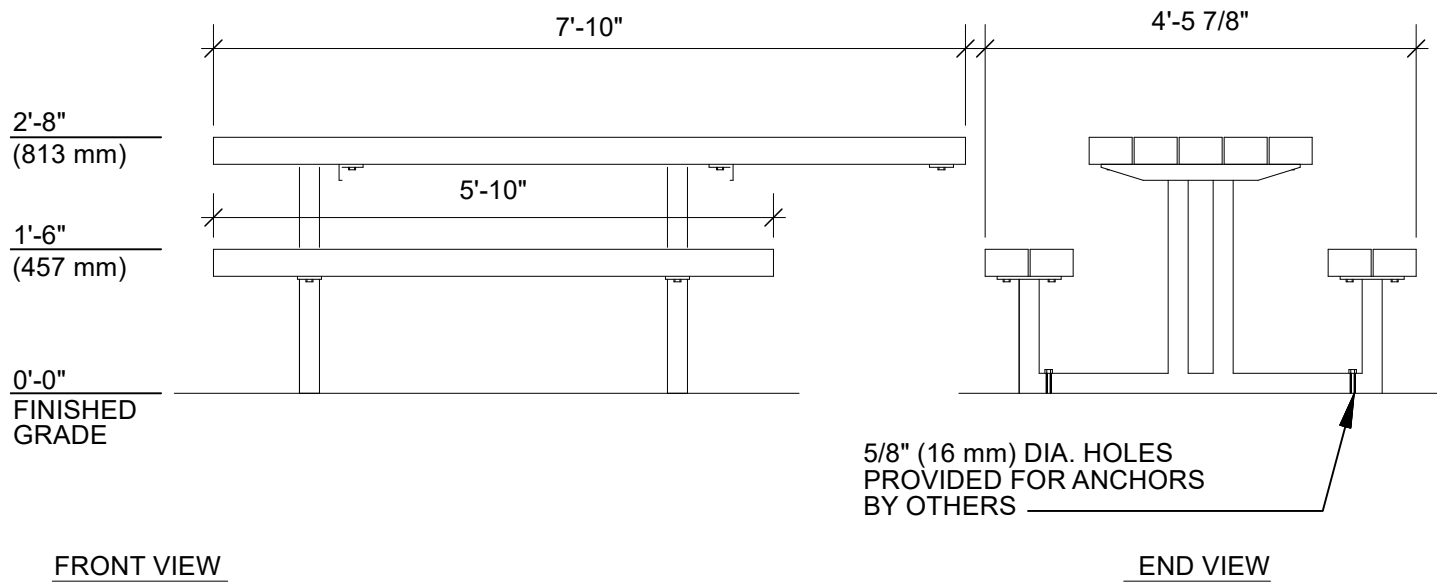
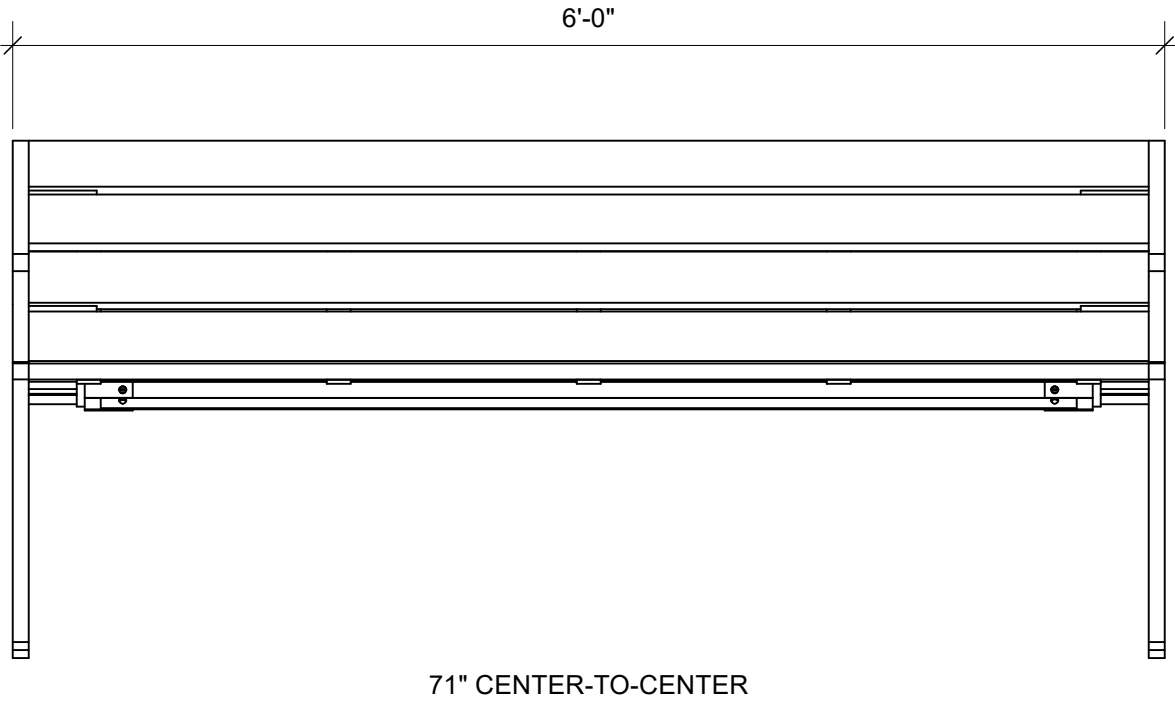
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DETAILS

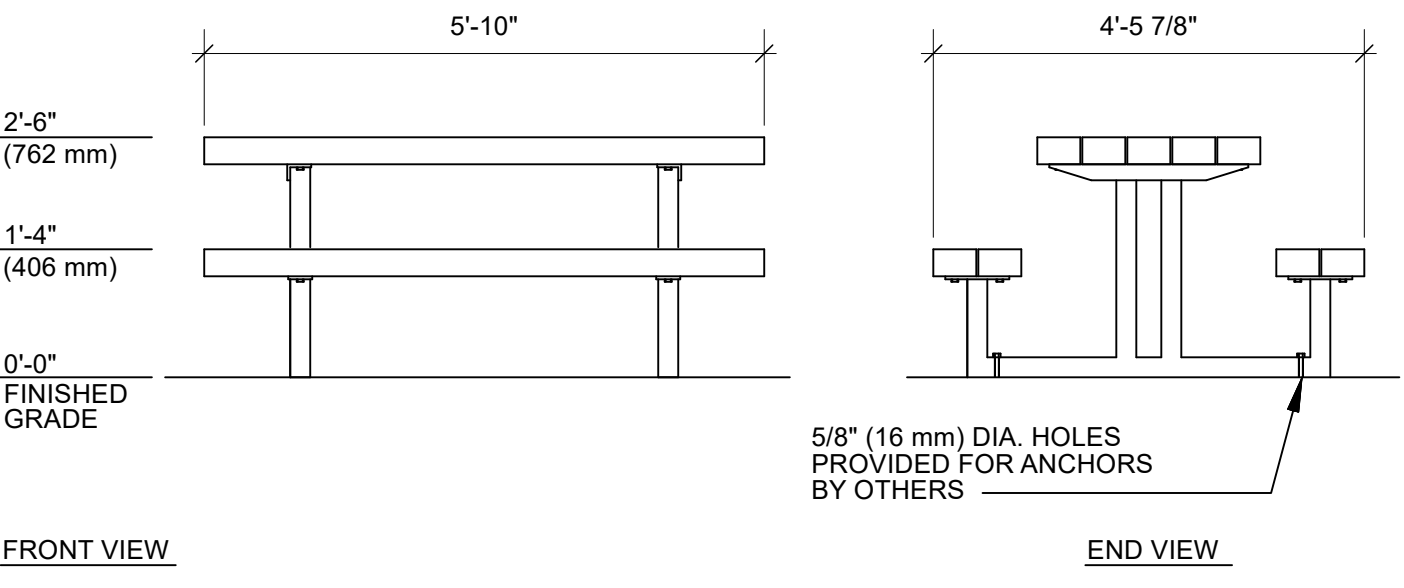
L501



- NOTES:
1. DRAWINGS NOT TO SCALE. DO NOT SCALE DRAWINGS.
 2. ALL FABRICATED METAL COMPONENTS ARE STEEL SHOTBLASTED, ETCHED, PHOSPHATIZED, PREHEATED, AND ELECTROSTATICALLY POWDER-COATED WITH T.G.I.C. POLYESTER POWDER COATINGS. PRODUCTS ARE FULLY CLEANED AND PRETREATED, PREHEATED AND COATED WHILE HOT TO FILL CREVICES AND BUILD COATING FILM. COATED PARTS ARE THEN FULLY CURED TO COATING MANUFACTURER'S SPECIFICATIONS. THE THICKNESS OF THE RESULTING FINISH AVERAGES 8-10 MILS (200-250 MICRONS).
 3. IT IS NOT RECOMMENDED TO LOCATE ANCHOR BOLTS UNTIL BENCH IS IN PLACE. THIS VICTOR STANLEY, INC. PRODUCT MUST BE PERMANENTLY AFFIXED TO THE GROUND. CONSULT YOUR LOCAL CODES FOR REGULATIONS.
 4. ANCHOR BOLTS NOT PROVIDED BY VICTOR STANLEY, INC.
 5. FOR HIGH SALT ABUSIVE CLIMATES, HOT-DIP GALVANIZING BEFORE POWDER COATING IS AVAILABLE. HOT-DIP GALVANIZING IS PERFORMED FOR VICTOR STANLEY, INC. BY AN EXPERIENCED QUALIFIED FIRM TO WHICH PRODUCTS ARE SHIPPED FOR GALVANIZING. HOT-DIP GALVANIZING INCLUDES AN AGGRESSIVE PRE-TREATMENT AND IMMERSION IN A TANK OF CHARGED LIQUID ZINC AT OR AROUND 860°F (460°C). THE RESULTING SURFACE IS RESISTANT TO RUST BUT HAS SOME UNEVENNESS RESULTING FROM THE BONDING OF THE ZINC TO THE STEEL SURFACE. AS A RESULT, THE POWDER-COATING SURFACE FINISH OVER THAT GALVANIZED SURFACE MAY EXHIBIT BUMPS, UNEVENNESS, AND MAY NOT BE AS SMOOTH AS THE STANDARD FINISH; THIS UNEVEN AND INCONSISTENT FINISH IS NORMAL FOR GALVANIZING. CONTACT MANUFACTURER FOR DETAILS.
 6. ALL SPECIFICATIONS ARE SUBJECT TO CHANGE. CONTACT MANUFACTURER FOR DETAILS.
 7. THIS PRODUCT IS SHIPPED PARTIALLY UNASSEMBLED.



AVAILABLE IN 6' (SHOWN), AND 8' NOMINAL LENGTHS.
OTHER LENGTHS AVAILABLE UPON REQUEST.

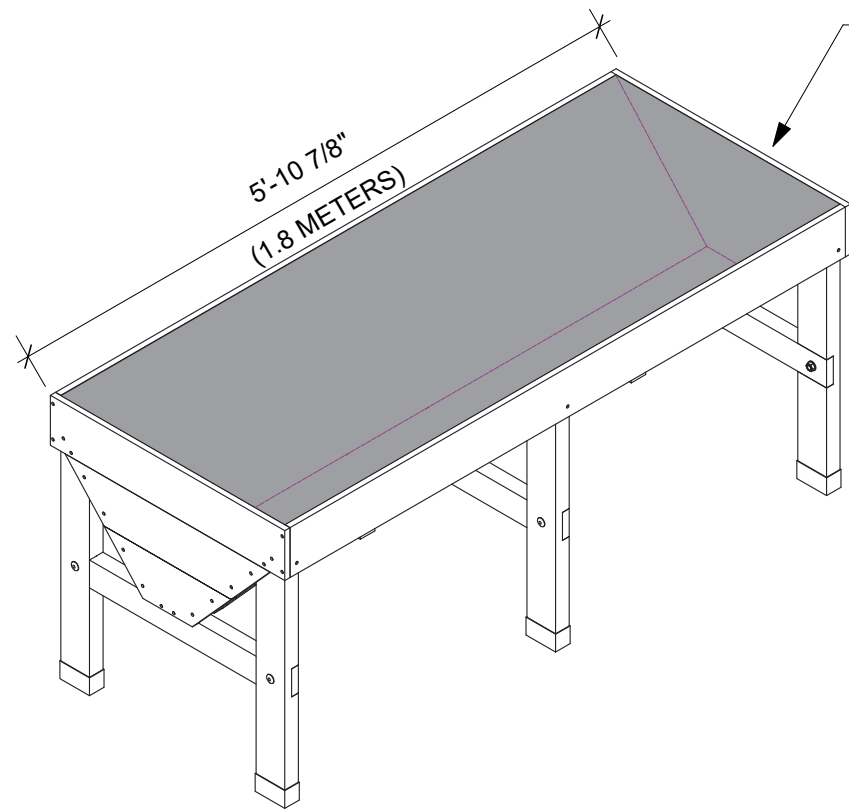


TIMBERFORM GREENWAY TABLES
MODEL NO. 2164-6
PICNIC TABLE WITH SEATS

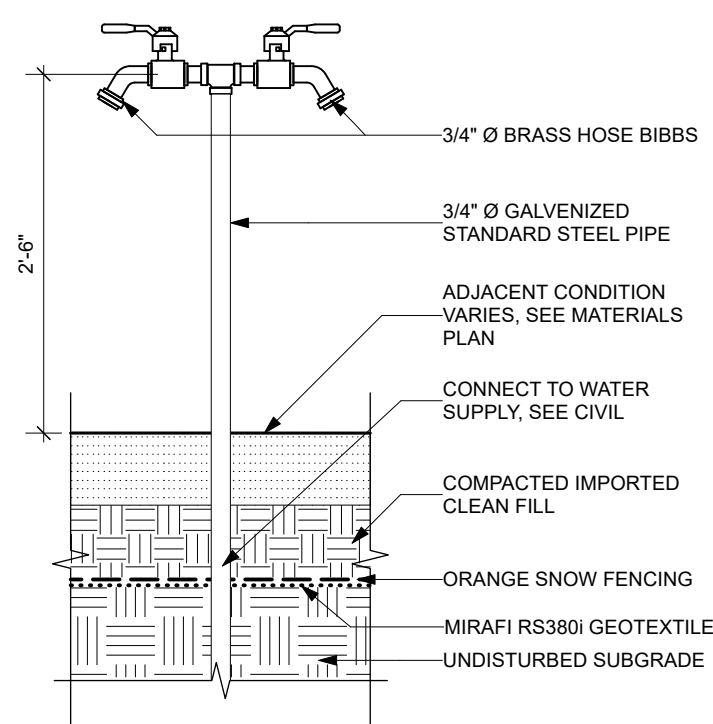
1 F-BN BENCH
Scale: 1" = 1'-0"

2 F-PTA ACCESSIBLE PICNIC TABLE
Scale: 1/2" = 1'-0"

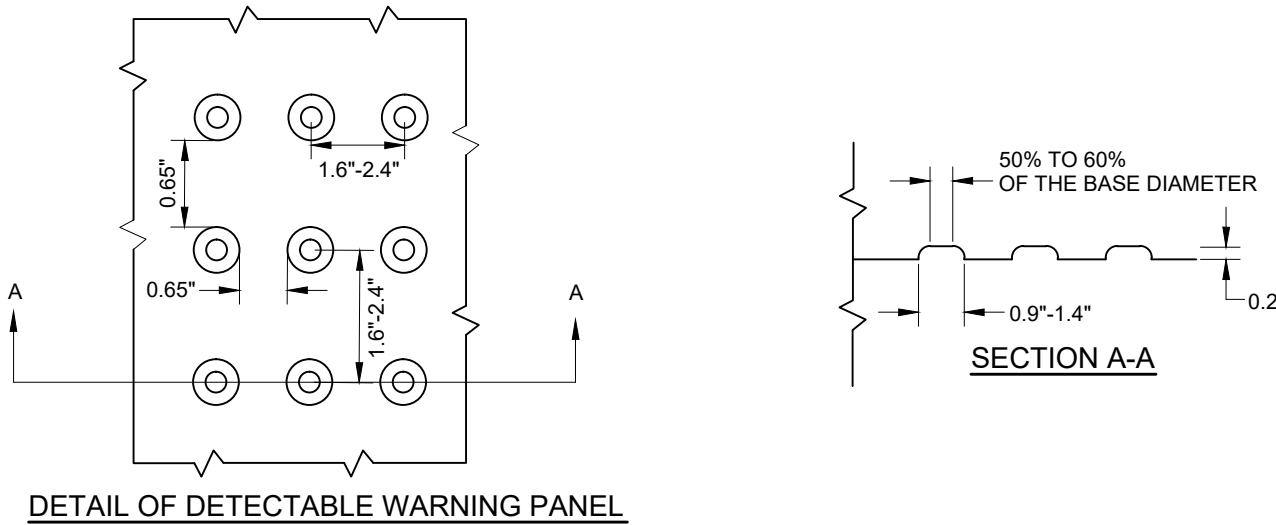
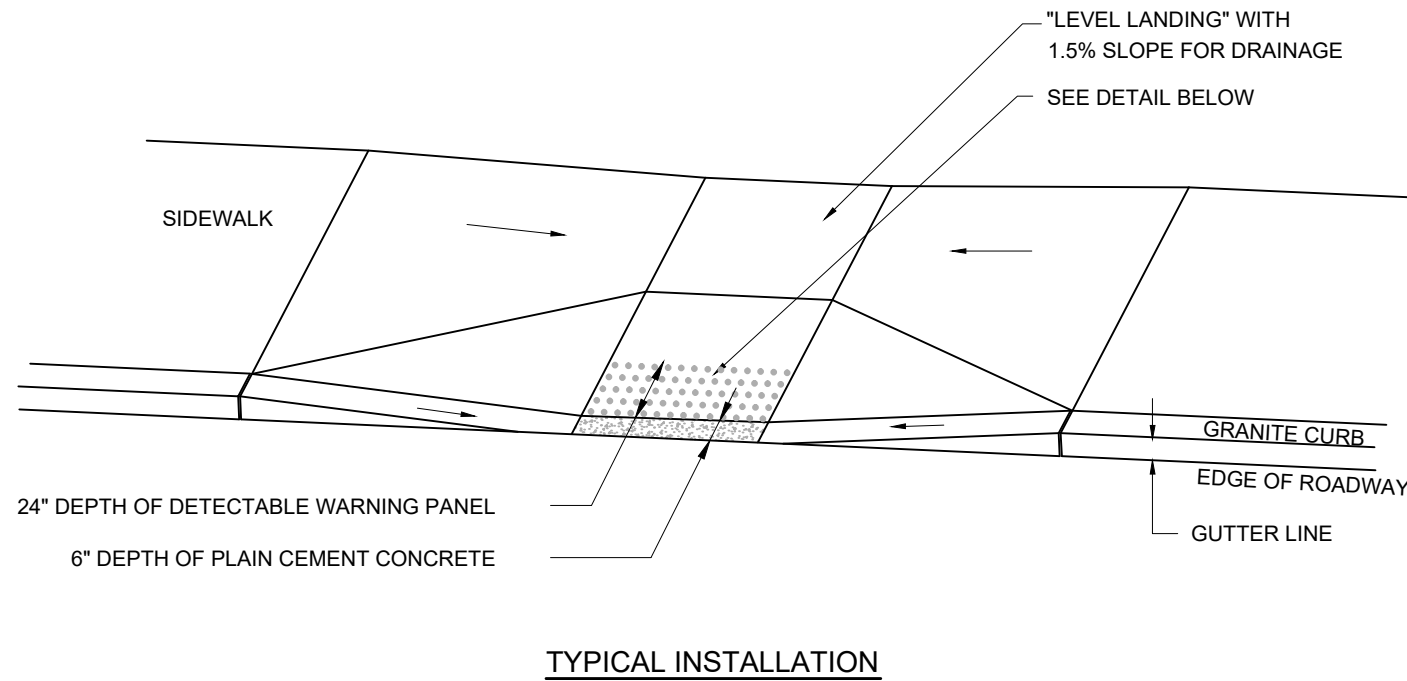
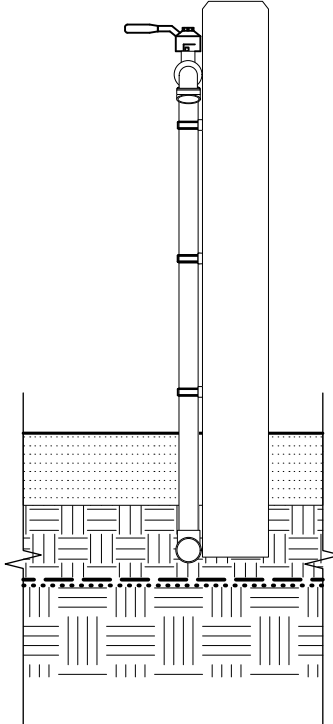
3 F-PT PICNIC TABLE
Scale: 1/2" = 1'-0"



CLASSIC "VEG TRUG"
GARDEN BED. SEE
MANUFACTURER'S
SPECIFICATIONS FOR
ASSEMBLY. SEE MATERIALS
PLAN FOR LOCATIONS.



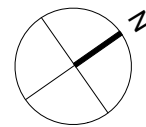
5 S-HB HOSE BIBB
Scale: 3/4" = 1'-0"



6 P-DP DETECTABLE WARNING PLATE
Scale: 1" = 1'-0"

4 S-GB GARDEN BED
Scale: 3/4" = 1'-0"

No.	Date	Revision
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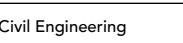
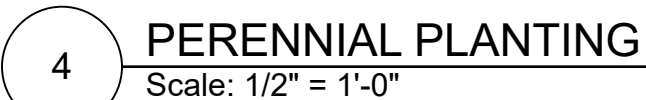
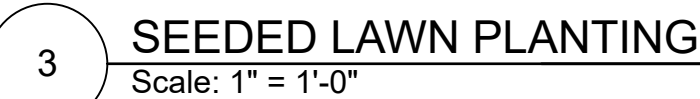
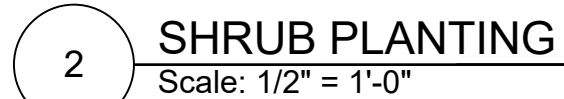


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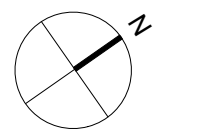
DATE:	August 25, 2022
PROJECT NUMBER:	2128
SCALE:	AS SHOWN

DRAWING TITLE:

DETAILS



No.	Date	Revision



STAMP:

DRAWING TITLE:

L504



Creative Place-making Initiative

APPLICATION

Please answer all questions and email the completed application with required exhibits to:
dhcdsubmission@mass.gov (Subject line: "Creative Place-making - name of housing authority").

1) Basic Information

Date: 4/11/2020
Housing Authority: Arlington

Contact Person and
Title: Jack Nagle, Property Manager

Address: 4 Winslow Street, Arlington, MA 02474

Phone: (781) 646-3400 x25 Email: jnagle@arlingtonhousing.org

Development Name: Drake Village
Development # (200-1, etc): 667-1 & 667-4

Development Address: 18-38 Drake Road, Arlington, MA 02476

Number of total units: 216

Estimated Number of
Residents: 225

2) Project Scope (35 points)

- A. Describe the existing physical conditions at the community spaces for the proposed project. Attach photos. Also describe existing resident community spaces and services, noting major shortcomings.**

Presently, the community spaces at Drake Village are located only inside and consist of a library/sitting room, large community room and small community room. The community rooms have televisions, a computer, exercise equipment and games such as pool and ping pong. The rooms are functional but bland spaces that lack in aesthetic design. There are some programs in the community room through Minuteman Senior Services that promote healthy living, but these activities are limited in space and to a scheduled time slot. Additionally, many residents are limited in mobility but still desire to get fresh air while also interacting with each other. We lack outdoor spaces that are conducive to social interaction and activities that promote health like gardening and walking. Although the Arlington Reservoir and the Minuteman Bike Way both border Drake Village, most of our residents are unable to take advantage of them because these scenic amenities are not easily accessible. The reservoir paths are uneven and not paved and the bike way is utilized by many highspeed bikers and runners. Both options are dangerous for many of our residents and as a result are not a viable option for healthy activity.

- B. Describe Project Intent and Scope. Please highlight “eligible activities” from application page 2.**

We plan to create areas within development that encourage healthy activities such as a large community garden featuring accessible raised beds, a walking path, outdoor exercise equipment, and a bocce ball court. In addition to these active-use areas, we also plan to improve the aesthetics of the property where possible, including the replacement of the fence and trash receptacles, installation of benches and bike racks, as well as a mosaic-embellished walkway. Artist-led resident-engagement efforts will be used to ensure that residents’ cultural and creative ideas are utilized. In addition, we look to situate creative lighting solutions along the pathways and into the reservoir pathways.

- C. Describe how the project responds to creative place-making principles and how it will improve resident engagement with community, resident health and wellbeing, or otherwise provide a desired amenity for residents. What challenges or opportunities are being addressed?**

If awarded, this project will allow the residents of Drake Village to have an active role in aesthetic and practical improvements to their lives. The residents will gain new skills and attain a greater connection to each other and their environment. Residents have input in the design of benches, fences, walkways, bike racks and other areas. Additionally, this project will give our residents the opportunity to engage in healthy outdoor activities. Community gardens provide a daily source of engagement, enjoyment and sense of accomplishment, not to mention providing nutrition and beauty. In addition to engaging in healthy activities, our residents will be able to interact with other residents through a community garden, bocce ball, lighted walking paths, and benches.

This project will also give our residents that are unable to utilize the Arlington Reservoir and the Minuteman bike way the ability to engage in healthy activities. The Reservoir is made up of dirt paths and uneven ground and the bike way is utilized by many highspeed bikes and runners. Both options are dangerous for many of our residents and as a result are not a viable option for healthy activity. Through this creative placemaking project we hope to create a more vibrant community here at Drake Village.

D. Potential User Demographics

- i. Estimated number of residents who will access proposed community space:**

Total number of residents at development:	<u>225</u>
Target Population of communal space (young children, young adults, adults, etc.)	<u>Elderly & Disabled</u>
Number of Residents in target population	<u>225</u>
Estimated percentage of residents to be served at development:	<u>100 %</u>
Estimated number of non-residents to be served by the new community space	<u>100</u>

3) Resident Engagement Plan (30 points)

- A. Discuss options considered by residents and how they came to a decision on proposed project.**

A meeting was held with Drake Village residents on 2/27/2020 to discuss ideas for this proposal. The residents were very interested in the potential updates to the property as well as the opportunity to contribute to it in its various phases. During the meeting, some residents were in favor of outdoor exercise equipment while others were skeptical of how it would look. However, after discussing the different options for outdoor equipment the residents showed support for it with the condition that it be aesthetically pleasing. Also, residents requested that the slope on the sidewalk going up to Mass. Ave be lowered and that the slope leading up to the reservoir path be paved and lowered. Discussed with the residents that this is not AHA property, but that we will have discussions outside of this grant with the Town of Arlington to see if these requests can be addressed.

· WALKING PATHS

Residents indicated that they would like a walking path around the cottages. There was a consensus that the Minuteman Bikeway and the reservoir path can be dangerous for Drake Village residents. The reservoir path entrance is too steep, and the path is uneven. A walking path would provide residents a healthy and safe alternative to walking along the reservoir or bike path. Residents also requested additional lighting and benches along the bike path.

· BOCCE COURT

Residents agreed that a common bocce court would be an excellent addition to the grounds and provide a place for healthy exercise and socialization.

· COMMUNITY GARDEN

Residents agreed that a community garden would allow them to socialize and connect while participating in a healthy activity.

· CLOTHESLINE

Residents requested that the clothesline stands be removed or made more aesthetically pleasing.

· FENCE AND GATE

Residents also voiced support for the replacement of the fence and a new gate to the reservoir. The fence and gate are outdated, damaged and in need of replacement. Residents were interested in being able to provide input into the design of the new fence and gate. Additionally, residents were interested in a bike rack with a covering. They felt this would encourage bicycle use. Residents currently must put their bikes in their room or leave it uncovered on the bike rack. Those with coverings use tarps, which were identified as being ugly by residents. This covered bike rack would allow residents to leave their bicycles outside without additional covering.

- B. List of Proposed Engagement Committee members and roles, including names of LHA Staff, resident (s) to lead engagement strategy, and local Artist to be engaged, plus any additional non-profit or municipal partners.**

LHA Staff: Jack Nagle – Property Manager with Arlington Housing Authority

Resident Representative: Catherine Spence – Drake Village Tenant Association President

Local Artist: Adria Arch – Artist with the Arlington Commission for Arts and Culture

Local Stakeholder: Erin Zwirko & Ali Carter – Arlington Planning Department

C. Describe plan for engagement with residents through post-award planning and design process.

Residents will be involved in every stage of project development. Meetings with the entire group or a subset will be arranged on a regular basis to discuss and provide feedback on designs and plans for construction. Meetings and workshops with the local artist will be scheduled on an as-needed basis as the project takes shape. We anticipate that this open dialog and engagement will enhance residents' feeling of ownership.

4) Cost Effectiveness & Leveraged Funds (20 points)

A. Project Budget Summary

Estimated construction cost	<u>\$500,000</u>
Total estimated construction cost:	<u>\$400,000</u>
Total estimated soft costs:	<u>\$100,000</u>
Total pre-planning/resident engagement costs	<u>\$10,000</u>
Total development cost (including soft costs):	<u>\$510,000</u>
Subtract amount of leveraged funds	<u>\$0</u>
Total Funds Requested from Creative Place-making	<u>\$510,000</u>

Total development cost per unit for Creative Place-making

\$2,361.11 per unit

B. Note sources for the project other than the creative place-making award. Please provide evidence of funding commitment along with application.

Leverage Source	Amount

5) LHA Management Capacity (15 points)

- i. Number of findings in most recent PMR, and comment:

Findings due to one day late submission, no findings after review.

- ii. Number of findings in most Recent AUP, and comment:

2 Findings (1 corrective action and 1 operational guidance)

- iii. LHA compliance with reporting not included in PMR:

- a) Budget Submissions & Certifications

Up to date

- b) Board Attendance

Up to date

- c) Board Trainings

4 of 5 trained

8) LIST OF REQUIRED EXHIBITS: *For all exhibits, please include a page header with the housing authority name and the title of the exhibit.*

A. Required exhibits listed in NOFA/Public Housing Notice:

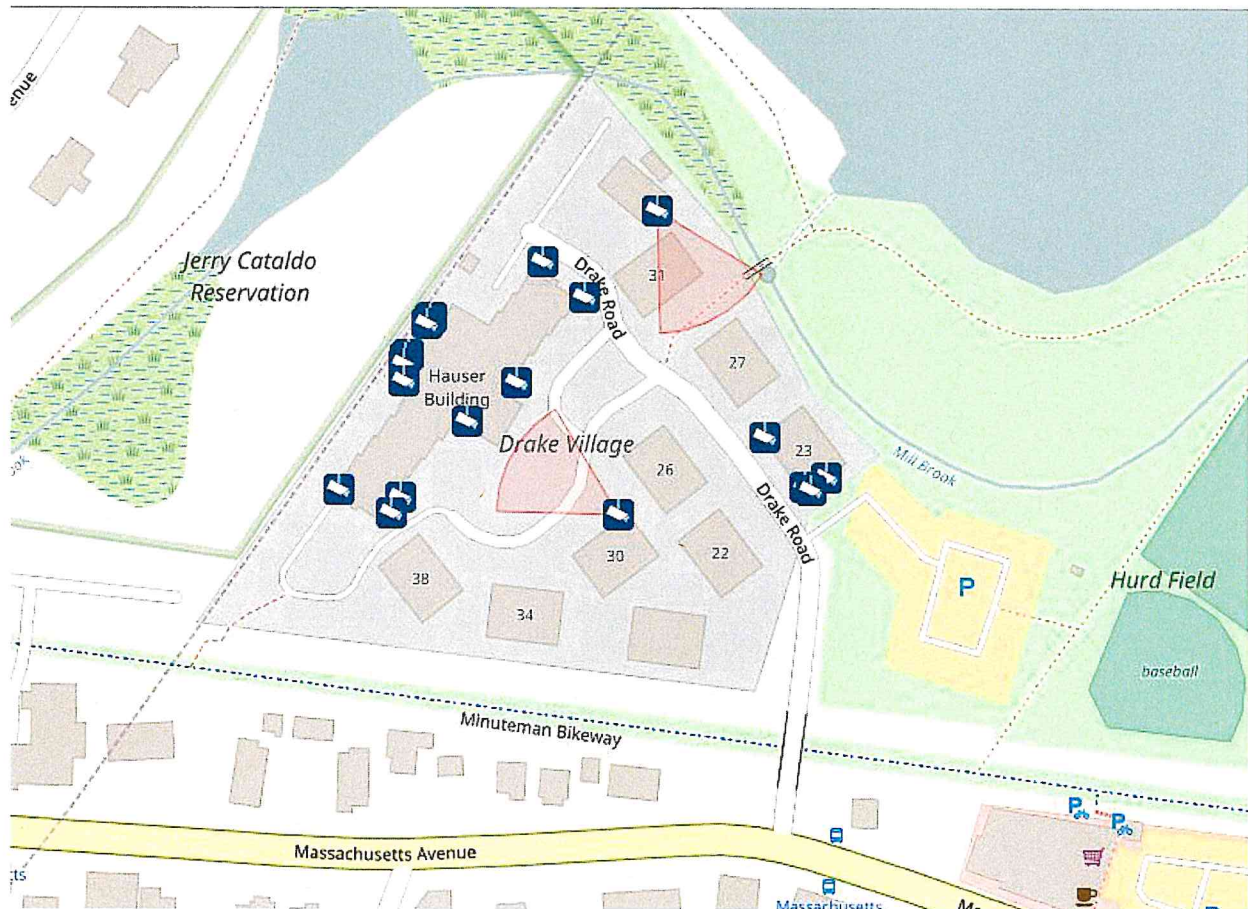
- a) Photos of spaces to be addressed by the project and plan showing proposed project location.
- b) Evidence that residents have been consulted and agree with overall project concept (e.g. meeting minutes, list of attendees, vote or letters of support). Demonstration of compliance with tenant participation regulations, particularly if there is a recognized Local Tenant Organization at the affected development (760 CMR 6.09).
- c) A board vote of application approval, as evidenced by a certified extract from the minutes of the board meeting.

Exhibit A: Photos of spaces to be addressed by the project and plan showing proposed project location.

1. Proposed Project Location
2. Photos of Spaces to Be Addressed by The Project (I – VII)

1. PROPOSED PROJECT LOCATION

18-38 Drake Road, Arlington, MA 02476



2. PHOTOS OF SPACES TO BE ADDRESSED BY THE PROJECT

I. Bocce Ball Court Location





II. Bike Rack Location



III. Reservoir Side - Gate And Fence Needing Replacement







IV. Trash Receptacle Needing Replacement



V. Bike Path Side - Fence Replacement & New Walkway Site





VI. Areas Of Walkway Needing Replacement





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VII. Community Garden Location





Exhibit B: Evidence that residents have been consulted and agree with overall project concept. Demonstration of compliance with tenant participation regulations, particularly if there is a recognized Local Tenant Organization at the affected development (760 CMR 6.09).

1. Meetings with Proposed Engagement Committee
2. Meeting with Residents
3. Drake Village Tenant Organization Support

1. Meetings with Proposed Engagement Committee

Creative Place Making at Drake Village

Meeting Date: 12/18/2019

Meeting Attendees:

Name	Organization
Erin Zurko	Arlington Planning Dept
Ali Carter	Arlington Planning Dept.
AnnMarie MacDonnell	Drake LTD
Jack Doyle	Arlington Housing Authority



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AHA Meeting for 3/4/2020 Creative Place making

Name	Organization	Email
Erin Zwirko	Town of Arlington DPED	erzwirko@town.arlingtonma.us
Carly Spencer	Tenant assoc	carlspencer830@gmail.com
Jen McNabb	AACT	jmcnabb@arlingtonhousing.org
Cat Beaudoin	Arlington Center for the Arts	cat@acarts.org
Allison Carter	Town of Arlington DPED	acarter@town.arlingtonma.us
Adria Arch	Arlington Commission for Arts + Culture	adriaarch@gmail.com
Jack Nagle	AHA	Jnagle@arlingtonhousing.org

2. Meeting with Residents

2/27/2020

Drake Village Creative Placemaking Meeting Attendance Sheet

Resident Name	Unit Number
Deborah Shore	201
ANN HORPE	320
Grace Abernethy	315
Mary Howman	619
Graciela Correa	403
CAROLINE	27E
Kathy Johnson	34A
Fontaine Ellis	18B
Richard Penney	108
H. LEGGE	617
BILL DELERY	613
BARBARA J LADY	38H
Orthy Spencer	414
Joe Teprano	114
Pat Melvin	717

pg 1



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2/27/2020

**Drake Village
Creative Placemaking Meeting
Attendance Sheet**

Resident Name	Unit Number
DELINE CASEY	38F
LINDA NICOLI	38D
Cathy Robinson	37-B.
Marque DiMaio	411
John Santosuos	513
Laraine Houdart	419
Zoe P	105
John Donnelly	519
Ted Quinn	519
Reg HANNA	710
Cherise May	2

(472)



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2/27/2020

**Drake Village
Creative Placemaking Meeting
Attendance Sheet**

Resident Name	Unit Number
<i>Maria Notari</i>	<i>615</i>
BARBARA SANTOSUOSSO	<i>513</i>
Ana Minassian	<i>719</i>
Angel Minassian	<i>409</i>
WILLIAM HENEHAN	<i>509</i>
Sina Kanter	<i>307</i>
CLAYIA O'MALLEY	<i>622</i>
Vikki Berberian	<i>310</i>
Kathy Suprenant	<i>106</i>
Francis F. Charren Jr.	<i>305</i>

(pg 3)



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3. Drake Village Tenant Organization Support



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March 25, 2020

Arlington Housing Authority Creative Placemaking NOFA Application

Gentlemen:

I, the elected President of the Drake Village Tenant Organization of the Arlington Housing Authority, have reviewed, discussed, and provided suggestions related to the Arlington Housing Authority's Creative Placemaking NOFA application for Drake Village. I speak on behalf of the residents of Drake Village in providing support for this application.

Drake Village President:


Catherine Spencer

Signed,


Jack Nagle
Property Manager



4 Winslow Street, Arlington, MA 02474 p: 781-646-3400 f: 781-646-0496

Exhibit C: A board vote of application approval, as evidenced by a certified extract from the minutes of the board meeting.



Extract of Minutes of Board Meeting Dated February 19, 2020

Approval of submission for the Creative Place Making Grant from DHCD

VOTED:

Upon a motion made by Mr. Talanian and seconded by Mr. Daly it was unanimously voted in favor for the Approval of the Submission for Creative Place Making Grant from DHCD.

	<u>Yes</u>	<u>No</u>
Nicholas Mitropoulos	X	
Gaar Talanian	X	
Richard Murray	X	
Joseph Daly	X	

The extract from the minutes of the February 2020 Regular meeting of said authority held February 19, 2020, is a true and correct copy of the original minutes of said meeting on file and of record insofar as said original minutes relate to the matter set forth in said attached minutes.

John J. Griffin

John J. Griffin
Executive Director



Commissioners:

Richard B. Murray
Nicholas C. Mitropoulos
Gaar Talanian
Brian J. Connor
Joseph S. Daly

Executive Director

John J. Griffin

Tel.: (781) 646-3400

Fax: (781) 643-6923

April 10, 2020

Commonwealth of Massachusetts
Department of Housing & Community Development
Bureau of Housing Management
Mr. Ali Makke
100 Cambridge Street, Suite 300
Boston, MA 02114

Dear Mr. Makke:

I, the undersigned, the duly appointed, qualified and acting secretary of the Arlington Housing Authority do hereby certify

THAT the attached extract from the minutes of the February meeting of said authority held February 19, 2020, is a true and correct copy of the original minutes of said meeting on file and of record insofar as said original minutes relate to the matter set forth in said attached minutes and

THAT on the date of this meeting each member present and voting was a resident of the Town of Arlington and

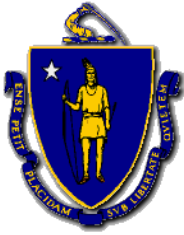
THAT notice of such meeting was duly filed more than 48 hours prior thereto with the Town Clerk of the town of Arlington, Massachusetts in accordance with the requirement of Section 23A of Chapter 39 of the General Laws as amended.

In witness thereof, I have hereunto set my hand and seal of the Arlington Housing Authority this day April 10, 2020

Sincerely,

John J. Griffin

John J. Griffin
Executive Director



Commonwealth of Massachusetts
**DEPARTMENT OF HOUSING &
COMMUNITY DEVELOPMENT**

Charles D. Baker, Governor ♦ Karyn E. Polito, Lieutenant Governor ♦ Janelle L. Chan, Undersecretary

Public Housing Notice 2019-26

To: All Local Housing Authority Executive Directors
From: Amy Stitely, Associate Director, Division of Public Housing
Subject: Notice of Funding Availability (NOFA) for Creative Place-making Grants
Date: November 4, 2019

1. Overview

The Department of Housing and Community Development (DHCD) is pleased to announce that capital funds are available for improvements to sites, pathways, building exteriors, and interior and exterior common spaces in family and elderly developments through the new Creative Place-making Award Program (the Program). The Program seeks to use creative place-making strategies to encourage intentional integration of the arts, culture, creativity, and design in comprehensive, community development¹ that promote socially connected communities and resident wellbeing. Funds will go to community space projects that arise from ideas generated through resident engagement. A successful project will address:

- 1) A demonstrated need as articulated by the resident community;
- 2) Resident wellbeing and/or safety concerns; or
- 3) Improved connectivity of residents within the Local Housing Authority (LHA) community and/or surrounding neighborhood.

In addition, a successful project will be responsive to place-making design principles as described in Section 2 below. A core principle of this Program is resident engagement, so applications for funding must show that residents have contributed to the project concept. In addition, once funded, projects will be steered by a formalized committee to ensure continued resident engagement through the design process.

2. Creative Place-making Design Principles

Successful applicants will demonstrate that their proposed project is responsive to “Place-Making Design Principles²” and that they have a plan for robust resident and artist engagement. Place-Making Design Principles are as follows:

- Puts community engagement and arts and culture at the forefront of project conceptualization

¹ Local Initiatives Support Corporation (LISC), [What is Creative Placemaking?](#)

² American Planning Association,
[Knowledge Base Connection: Creative Place-making](#)

- Focuses on people as users of physical space
- Links design with community needs
- Encourages pedestrian connections
- Supports neighborhood identity and builds trust
- Fosters a sense of community among residents

See Attachment B for more resources on Creative-Place making design principles, recommended resident engagement process, and example projects.

DHCD will be leading a “Symposium on Creative Place-making: Resident Engagement Techniques and Application Explanations” on **Tuesday, November 19 at 10 am at the MassNAHRO Fall Conference at the Boston Marriott in Quincy**. The Symposium will include presentations by experts on Creative Place-making and an interactive discussion about the requirements of this NOFA. To fully understand the intent of the NOFA and how to address the many facets of the initiative, potential applicants are strongly encouraged to attend the Symposium.

3. Eligible Project Types

Grant funds may be used for the design and construction of the following types of community space improvements through creative place-making:

- Children/teen playscapes/play equipment (non-water based)
- Indoor play or cultural activity spaces
- Adult play – bocce/handball/basketball
- Secure bicycle storage/parking
- Outdoor gyms/indoor exercise equipment
- Indoor or outdoor art installations that address art as social change
- Paths and other improvements to encourage walking, bike use, and physical activity
- New plantings/landscaping/decorative fencing
- Open space / plazas with shaded areas (summer) and/or wind-protected sunny areas (winter) with seating
- Lighting at recreational areas, walking paths, or other common areas
- Benches & picnic tables/outdoor games tables
- Community gardens/raised planting beds
- Communal Wi-Fi
- Connectivity to surrounding neighborhoods
- Spaces that integrate health and wellness into community
- Projects that increase feelings of safety and well-being through activation of space
- Projects to reinvigorate an existing space are also eligible, but must meet the creative place-making design principles
- Other proposed projects that create a place that has a strong sense of community involvement and activity

4. Funding Availability, Eligibility Criteria, and Award Limits

DHCD intends to award up to \$5 million for projects funded under the Program, with Notices to Proceed targeted to FY22 or 23, depending on project size and complexity. Note, DHCD will only approve the project for bidding after the LHA has developed a use and maintenance plan for the new asset.

Eligibility is restricted to state-aided public housing developments with 20 or more units. Developments that have been redeveloped through mixed-finance projects in the last 15 years and developments that have awards for comprehensive redevelopment/replacement are not eligible. If the LHA has more than one site for which they would like to apply, separate applications for each development should be submitted. However, only one award per LHA will be granted.

Awards are limited to \$5,000 per public housing unit, up to a maximum of \$500,000 per development. In addition, LHAs may offer to commit formula funding or leveraged funds.

6. Creative Placemaking Resident Engagement Process and Funding

DHCD will only fund projects where the application demonstrates that residents have been consulted and have weighed in on the priorities for the proposed project. Each project that is funded under the Program will be granted up to \$10,000 for artist and resident engagement expenses. These engagement funds will be in addition to typical project costs for a design consultant, construction contract, and LHA administration.

Upon award, LHAs must form a Creative Place-making Engagement Committee that will actively participate and give feedback at each of the design phases listed below:

- Work order
- Concepts
- Schematic
- 100% Construction Docs (Approval to Bid)

In addition, the LHA will also be required to invite all residents of the development to participate in a meeting to review the Concepts phase of the project. DHCD will not approve any phase without evidence that the project has met required thresholds for Committee and resident engagement.

The Creative Placemaking Engagement Committee should be comprised of at least one member of each of the following stakeholder groups. Note: The members of the Committee should have an inclusive mindset to embrace and engage with the diverseness of the resident community.

- A. LHA Staff:** An LHA staff person who will be the lead in the planning process and coordinate with other relevant staff as needed. The LHA staff person may come from resident services, property management, modernization, or operations and should have an interest in resident engagement and creative place-making.

- B. Resident Representative (s):** There should be at least one resident representative on the committee. The representative will vary depending on the nature of the opportunity/challenge to be addressed. For instance, if the project is associated with youth activities, having a young person from the LHA community, along with an adult representative may be appropriate. Once identified, the resident representative(s) will be tasked with coming up with a strategy to involve other residents through the design process.
- C. Local Artist:** Artists bring a unique perspective to place-making that will broaden the committee's perspective on what kind of capital projects could be done and how. The artist can be from any medium – visual, digital, theatrical, etc. The artist may be a part of the actual implementation of the project as a subcontractor to the house doctor architect and paid through Architecture and Engineering Services, may act in more of a facilitator/advisor role to support the conceptualization of the project, or may be more involved in developing and implementing the use and maintenance plan for the project. All projects will require a licensed architect in addition to a local artist.
- D. Local Stakeholder (s) - Optional, but encouraged:**
- **Local Nonprofit:** This could be a local community development corporation, community arts group, environmental group or other community-based group that has experience and expertise with leading a community process and engaging stakeholders in developing a vision for how to create local change.
 - **Municipal Leader:** Representatives from the local municipality or other stakeholders/experts who can connect to the broader needs of the community and identify how the municipality might collaborate on the project. Two resources to consider for this role are Mass in Motion Coordinators through the Department of Public Health and Transformative Development Initiative (TDI) Fellows from MassDevelopment. See Attachment B: Resources, for more information

7. Competitive Evaluation Criteria for Final Application

Applications will be evaluated using a 100-point system and will be scored in the four areas noted below, which are listed in order of weight.

- A. Project Scope (35 points maximum):** Project will be evaluated based on its responsiveness to “Place-Making” Design principles and demonstration of:
- Meeting a community need. This should be evidenced by a qualitative description of existing conditions and available services and community spaces for residents.
 - Integration of art/culture and community amenities into a capital project which is functional, durable, and aesthetically pleasing.
 - Value to residents, such as increased engagement in their community, improved resident health, and greater connectivity with the surrounding neighborhood.
- B. Resident Engagement Plan (30 points maximum):** Project will be evaluated based on its plan to engage residents in the design process.

- Evidence (meeting minutes, list of attendees, vote from LTO if it exists) that residents have been consulted and agreed with overall project concept.
- List of Engagement Committee members and proposed role.
- Commitment to resident engagement throughout design process

C. Cost Effectiveness and Leverage (20 points maximum)

- Cost of project in consideration of impact, in terms of resident and surrounding community benefits.
- Funds leveraged from non-DHCD sources, including municipal or non-profit funding.

D. LHA Management Capacity (15 points maximum)

- Performance Management Review (PMR) Findings
- Agreed Upon Procedures (AUP) Findings
- Compliance with DHCD reporting requirements not covered by PMR:
 - Budget Submissions and Certifications
 - Board Attendance

8. Application Process and Requirements

Final Applications are due by 5 pm on Wednesday, April 15, 2020.

November 4, 2019	NOFA posted
November 19, 2019 Marriott Boston Quincy 1000 Marriott Drive Quincy, MA 02169	Symposium at 10 am at MassNAHRO Conference on Creative Place-making. Please RSVP to Ben Stone at ben.stone@mass.gov by <u>November 15th with names of attendees</u> . LHA's who are not planning to attend the NAHRO conference are invited to attend the symposium regardless of other conference participation. <u>Participation strongly encouraged for all applicants.</u>
December 13, 2019:	Questions to be submitted by email to Ben Stone at Ben.stone@mass.gov . LHAs are encouraged questions to verify that their intended project type meets the goals of the Creative Place-making PHN.
December 20, 2019	Answers to questions posted as addendum to this NOFA.
April 15, 2020	Application Deadline
June 2020	Awards Granted
Summer-Fall 2020	House Doctors assigned through work-order; concepts and design begin with participation of Engagement Committee and residents at large.

Each application must include a completed application form, Attachment A and all required Exhibits a through c, noted below:

- a. Photos of spaces to be addressed by the project and plan showing proposed project location;
- b. Evidence that residents have been consulted and agree with overall project concept (e.g. meeting minutes, list of attendees, vote or letters of support). Demonstration of compliance with tenant participation regulations, particularly if there is a recognized Local Tenant Organization at the affected development (760 CMR 6.09).
- c. A board vote of application approval, as evidenced by a certified extract from the minutes of the board meeting;

LHAs must email one electronic copy of the application and all exhibits/attachments to:

dhcddesignsubmission@mass.gov

In the “Subject” line write: “Creative Place-making Application - [Name of Housing Authority]”.

If you have questions about this opportunity, please send them *by email only*, to Ben Stone at ben.stone@mass.gov by 5pm on Friday, December 13, 2019. By December 20, DHCD will issue an addendum to this PHN with answers to frequently asked questions.

After submission, LHAs may be asked to host a review team site visit and/or respond to follow up questions about their application. Depending on the number of applicants and the complexity of proposed projects, the total review process may take up to two months from application submission. DHCD intends to grant awards by June, 2020.

Attachments:

Attachment A: Application

Attachment B: Resources

1. Place-Making Resources
2. Municipal Engagement Contacts
3. Regional Planning Agencies

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City, State, ZIP+4®		
MASS DEP 205 LOWELL ST WILMINGTON, MA 01887		
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Postage

Total Postage and Fees

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Street

City, State

VENTURA SALVATORE &
VENTURA BRIGITTE
1491 MASS AVE
ARLINGTON, MA 02476

PS Form 3800, April 2015 PSN 7530-02-000-9047

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☐ Certified Mail Restricted Delivery \$
☐ Adult Signature Required \$
☐ Adult Signature Restricted Delivery \$

Postmark
Here

Postage

Total Postage and Fees

Sent To

Street

City, State

GRASSI ARMANDO & ANGELA
TRS/1513-1517 MASS AVE
12 LONGMEADOW RD
ARLINGTON, MA 02474

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

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Certified Mail Fee

Extra Services & Fees (check box, add fee as appropriate)
☒ Return Receipt (hardcopy) \$
☐ Return Receipt (electronic) \$
☐ Certified Mail Restricted Delivery \$
☐ Adult Signature Required \$
☐ Adult Signature Restricted Delivery \$

Postmark
Here

Postage

Total Postage and Fees

Sent To

Street

City, State

13-418
HUNT PATRICK & KEEGAN MICHAEL TRUSTEES
1581 MASSACHUSETTS AVE
ARLINGTON, MA 02476

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7018 0360 0002 0441 9858

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Certified Mail Fee

Extra Services & Fees (check box, add fee as appropriate)
☒ Return Receipt (hardcopy) \$
☐ Return Receipt (electronic) \$
☐ Certified Mail Restricted Delivery \$
☐ Adult Signature Required \$
☐ Adult Signature Restricted Delivery \$

Postmark
Here

Postage

Total Postage and Fees

Sent To

Street

City, State

HEALEY JAMES T &
1501 MASS AVE
ARLINGTON, MA 02476

PS Form 3800, April 2015 PSN 7530-02-000-9047

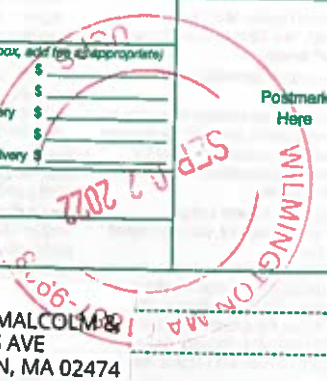
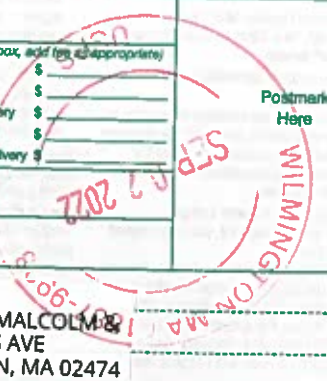
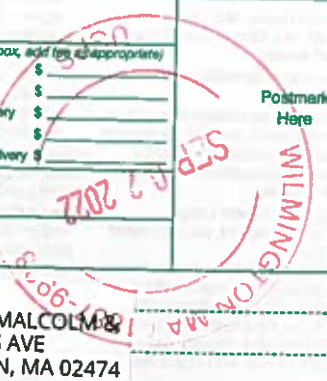
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7018 0360 0002 0441 9810

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Certified Mail Fee		 Postmark Here
\$		
Extra Services & Fees (check box, add fee as appropriate)		
<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$	
<input type="checkbox"/> Return Receipt (electronic)	\$	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$	 Postmark Here
<input type="checkbox"/> Adult Signature Required	\$	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$	
Postage		
\$		
Total Postage and Fees		 Postmark Here
\$		
Sent To		
Street and	13-422	
City, State	KELIKIAN MALCOLM 1542 MASS AVE ARLINGTON, MA 02474	

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Certified Mail Fee		 Postmark Here
\$		
Extra Services & Fees (check box, add fee as appropriate)		
<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$	
<input type="checkbox"/> Return Receipt (electronic)	\$	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$	 Postmark Here
<input type="checkbox"/> Adult Signature Required	\$	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$	
Postage		
\$		
Total Postage and Fees		 Postmark Here
\$		
Sent To		
Street and	13-421A TOWN OF LEXINGTON 1625 MASS VE LEXINGTON, MA 02420	
City, State		

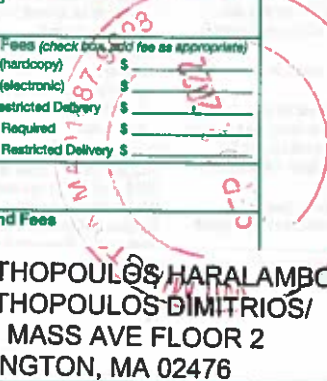
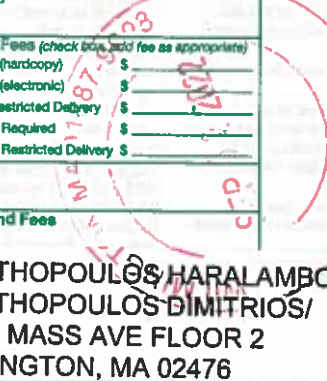
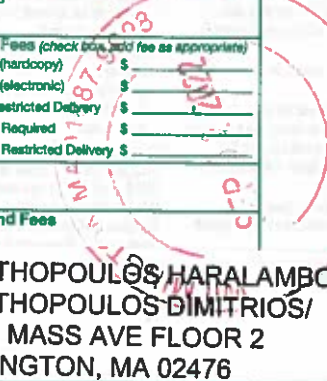
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Certified Mail Fee		 (Postmark Here)
\$		
Extra Services & Fees (check box, add fee as appropriate)		
<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$	
<input type="checkbox"/> Return Receipt (electronic)	\$	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$	 (Postmark Here)
<input type="checkbox"/> Adult Signature Required	\$	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$	
Postage		
\$		
Total Postage and Fees		 (Postmark Here)
\$		
Sent To		
Street and	STATHOPOULOS HARALAMBOS STATHOPOULOS DIMITRIOS/ 1511 MASS AVE FLOOR 2 ARLINGTON, MA 02476	
City		

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